



R I M R O C K

ARCHITECTURAL DESIGN GUIDELINES

A Handbook for Owners
and Their Architects

Prepared by
RIMROCK HOMEOWNERS ASSOCIATION

Revised April 2022

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PREFACE

PROJECT DESCRIPTION

Rimrock is an exclusive 350-acre estate site development located approximately 5 miles north of Escondido, California in an unincorporated area of San Diego County. The setting is one of incomparable natural beauty and grandeur, unlike anything in Southern California.

Rimrock was approved by the County of San Diego in February of 1989 as an estate residential community and overlooks the world-famous Lawrence Welk Resort complex which includes retail shops, conference center, a theatre, restaurants, golf courses and condominiums. Nearby country clubs provide additional golf, tennis and swimming facilities.

UNIQUE CHARACTER

Every effort has been made to preserve and enhance the special qualities of the site. All natural site features such as magnificent views, large rock outcroppings and native vegetation will be preserved. New structures and landscaping will be blended with the existing natural character, to ensure that the timeless beauty of the project is not compromised.

Each home site has been individually reviewed to ensure preservation of its special character while maximizing the potential for views and privacy of all lots. The unique site features of each lot will be identified and preserved.

DESIGN GUIDELINES

This document describes the standards and procedures under which the project will be developed without disrupting the natural beauty and character of the land.

1. INTRODUCTION

An Overview of the objectives of the guidelines

PHILOSOPHY OF THE GUIDELINES

The objectives of these guidelines are four-fold:

- To describe the unique and natural characteristics of the development.
- To provide design inspiration and technical background for owners, architects, and contractors.
- To outline the principles that must be followed to protect the development's natural beauty and integrity.
- To protect the value and investment of the entire project.

These design guidelines have been developed pursuant to the authority of the Declaration of Covenants, Conditions, and Restrictions for Rimrock, as amended from time to time.

These Design Guidelines are binding upon all persons who at any time construct, reconstruct, refinish, alter or maintain any improvement upon the property or make any change in the natural or existing grade, drainage or vegetation.

They are intended to describe the beauty that nature has provided, the design improvements that have been made by the developer and the design standards required of each property owner.

These Design Guidelines are provided to preserve the intrinsic value which has taken six years of careful planning to bring to fruition. The attention to design detail and environmental sensitivity should

protect and enhance the investment of each property owner.

In certain circumstances a homeowner may have justifiable reasons for not being able to follow the architectural guidelines and may request a waiver from the rules. Such exceptions are only permissible if submitted and approved by both the ECC and the Rimrock Board of Directors.

ENVIRONMENTAL CONTROL COMMITTEE

The Covenants, Conditions, and Restrictions of **Rimrock** delegate the power to approve or disapprove all construction within the development to an Environmental Control Committee (ECC).

The purposes of the ECC are:

- To develop, review, publish and maintain minimum standards and guidelines.
- Recommend additions or changes to the guidelines as may be required.
- Approve or disapprove plans for building and landscaping.
- Ensure construction conformance to the plans as submitted and approved.
- Report inconsistencies with approved plans and recommend appropriate action to the Board of Directors for enforcement.

RIMROCK DESIGN GUIDELINES

These guidelines may be amended from time to time and it is the responsibility of each owner or other person to obtain and review a copy of the most recently revised Design Guidelines.

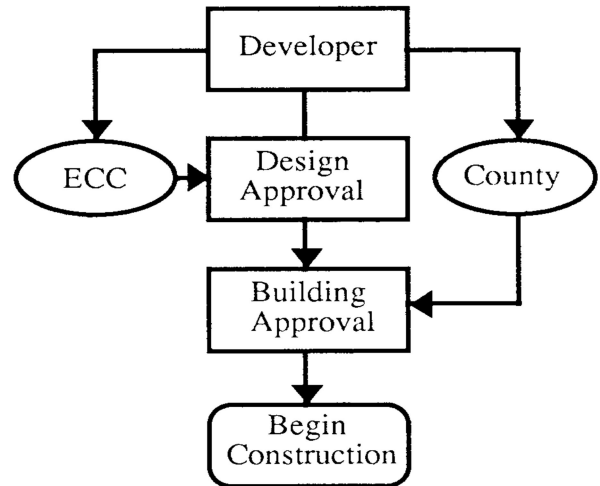
The ECC cannot approve construction that does not meet all the requirements contained in this document.

In addition to these guidelines, the County of San Diego has planning and zoning regulations which need to be observed. It is the responsibility of each owner to review, understand and abide by those regulations as well.

Plans, applications and deposits should be submitted to:

Rimrock Environmental
Control Committee
c/o Prescott Companies
16880 West Bernardo Dr. Ste 200
San Diego, CA 92127
Phone: 858-946-0320
Leanne Beck: lbeck@prescottmgt.com
and cc: Rimrock.ECC@gmail.com

For better review and storage digital versions of all submissions are requested. The preferred method for delivery of plans and documents is in pdf format. For New Homes, Guest Houses or Additions and Full Landscape a complete printed set of those versions are also required. The diagram illustrates the general steps required of all property owners to gain approvals to begin construction.



A more detailed list of review procedures and design criteria, along with the application forms are contained in Section 7: PROCEDURES.

DEPOSITS AND FEES

Deposits are required by the Association in order to offset any costs connected with the review and approval of plans, remodels, additions that are brought to the ECC. Costs incurred would primarily include: reviews by specific professionals for architecture, landscape and engineering. There is no charge for an initial preview by the ECC for a proposed submission. Fees are required with an Approval Submittal Form. The balance of any deposit, as described is refunded after a Notice of Completion review and inspection receives written final approval:

INTRODUCTION

- Less professional fees
- All landscaping is completed
- There is no damage to the common area. Repaired damage will be billed to the owner

DEPOSITS AND FEES

◆ New Homes	\$1,700
◆ Guest House or Additions	\$1,200
◆ Full Landscaping or Pool	\$600
◆ All Other Improvements	\$50

Minimum Deposit Balance Required \$50 or up to \$1,700 per category. Upon request, if additional fees are needed work must stop until balance is replenished if a \$0 balance exists. The deposits are based on estimated costs for 'common' projects and any additional costs incurred by The Association will be reimbursable by the homeowner upon request and prior to continuation / approval of the project.

The ECC fees/costs are as follows:

- Professional reviews: Per Invoice
- Management fees as incurred
- Changes made after any professional review may require additional reviews at per invoice cost

All plans must be submitted to the **Rimrock** Environmental Control Committee for review and approval. Any construction or installation started prior to written approval is subject to a fine.

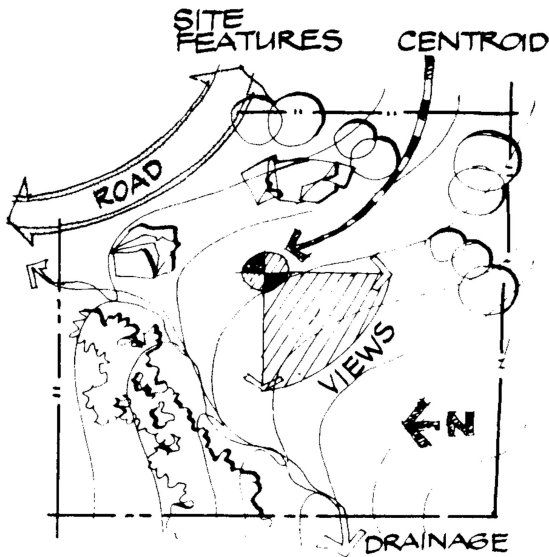
TECHNICAL PACKAGE

Each lot should have a Technical Package and a Plot Plan indicating topography, boundary and special conditions to be met in placing any structures on the property. The requirements contained in the Technical Package have been established by the **Rimrock** Design Team to establish the optimum location for a building site on each lot, respecting adjacent views, privacy and special site features and must be fully adhered to. Submission of a proposed plot plan showing the centroid and all technical package outlines is required for any review to begin.

The requirements may exceed the requirements for the County of San Diego. In such cases **Rimrock's** requirements will take precedence.

The County of San Diego may also have additional lot requirements.

RIMROCK DESIGN GUIDELINES



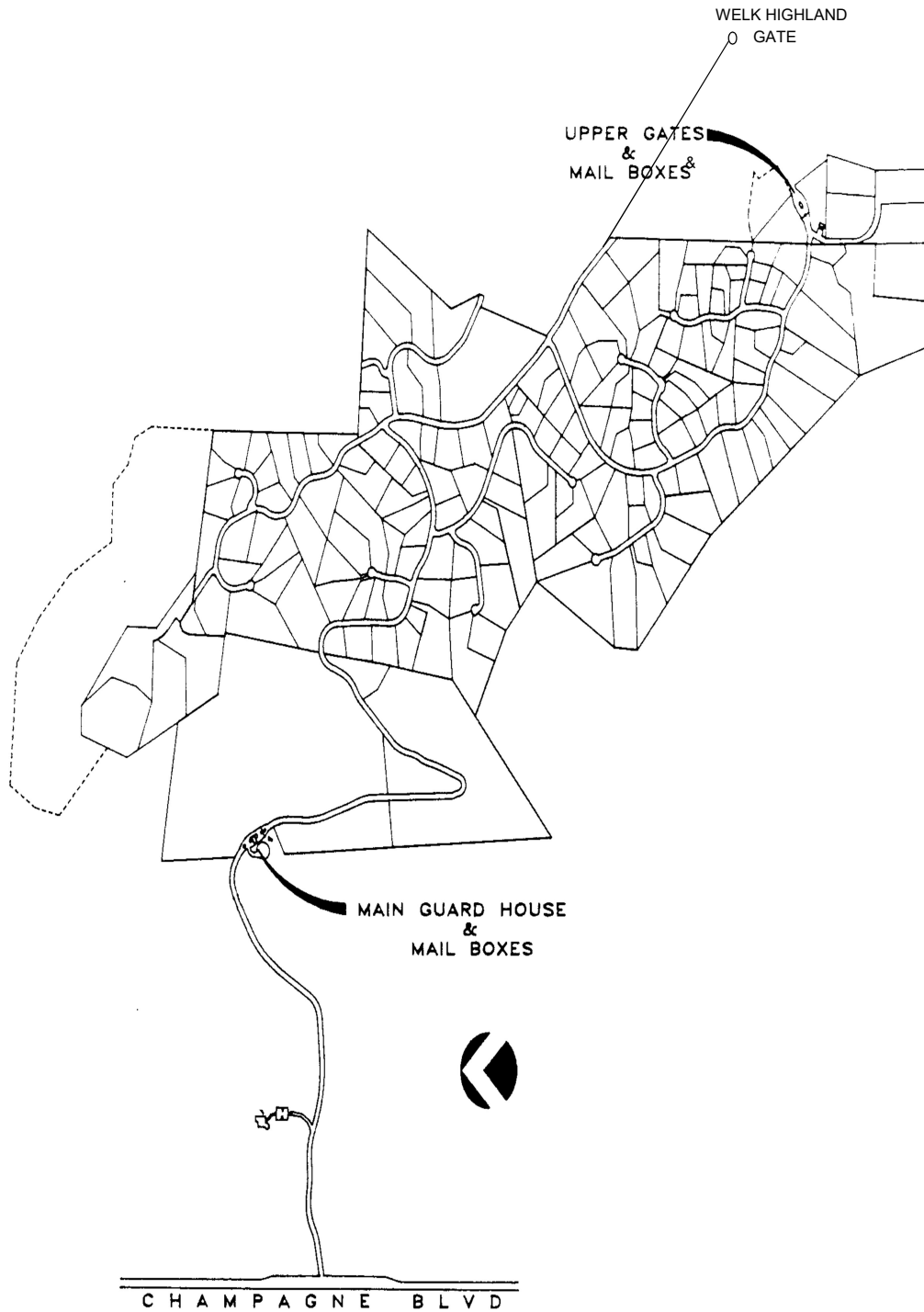
This package is intended to be a guide to the Special characteristics of each lot and is not intended to substitute for the required site surveys, soils and geologic investigations, zoning, planning and building inspection requirements of the County of San Diego. These government requirements are to be met fully by each property.

GENERAL DEVELOPMENT REQUIREMENTS

In addition to the specific guidelines contained in this section, the following must be observed:

- ◆ Permits for construction and grading must be obtained from the County of San Diego prior to commencing construction, but are not a substitute for approval from the ECC.
 - ◆ Only state-licensed civil engineers shall prepare and sign all grading and engineering plans.
 - ◆ Licensed architects should be retained to design all residences in **Rimrock**. Other design professionals may be approved by the ECC after a review.
 - ◆ Soil reports, geologic investigations and surveys are required for each lot prior to the first submittal, and are the responsibility of the owner.
 - ◆ Your lot may require an “L-Grading” permit and/or a “Site Plan Review” by the County of San Diego. These requirements may or may not lengthen the permit processing time through the County of San Diego.
- ◆ All plans for residential buildings in **Rimrock** must have the approval of the ECC.
 - ◆ Preliminary plans for grading, construction and landscaping must be submitted to the ECC for approval prior to submittal to the County for construction drawing approvals.

INTRODUCTION



Map boundaries subject to revision

2. COMMUNITY STRUCTURE

A Summary of the Character of Rimrock

This section contains a summary description of the broad community concept for Rimrock. Conceptually, each home site shall be planned with the same attention to detail as the overall theme. This will make it possible to have a unity of design and community quality that is important to protect the special qualities and value inherent in the Project.

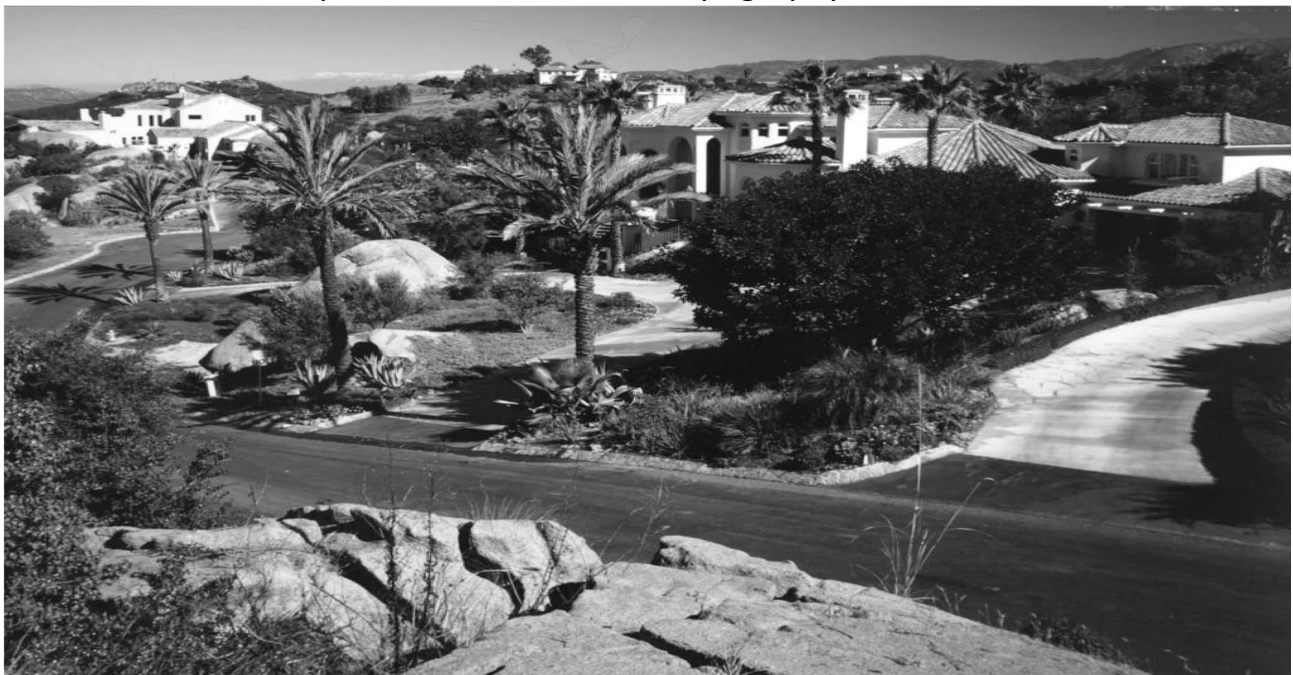
EXISTING CHARACTER

The Rimrock Project consists of two primary areas: the eastern slopes of the Merriam Mountains and the hilltop plateau area. These two zones are transversed with a small tributary canyon east of the valley, and two small drainage areas that are tributary to Moosa Creek. This overall structure provides some sites

with magnificent views of the Pacific Ocean, Catalina Island, and the Coronado Islands. Other sites have wide undisturbed views of the backcountry to the East. All the home sites are sensitively placed between the magnificent boulder formations and luxuriant stands of coastal chaparral.

ELEVATION

The 1200-foot difference in elevation between the valley and the Project is accessed by a private road which has been sensitively graded to respond to subtle variations in land forms as well as to the special rock formations and viewpoints of the valley below. Natural rock curbs blend the road into the vegetation and topography.



3. SITE DESIGN PRINCIPLES

Principles to be Used in Locating All Structures in Rimrock

The most important part of the design process at **Rimrock** is the relationship of the building to the site. It is critical to the success of the entire project that the location and design of all residences be subordinate to the important features of each site and viewsheds.

For this reason, all sites have been carefully analyzed with respect to their special features and relationship to each other. The technical package provided to each home buyer describes the unique features and characteristics of each lot which must be addressed and adhered to in the initial site plan submittal.

As discussed in Section Two, Community Structure, some sites will be more visible to residents than others and will therefore have more stringent requirements for height and bulk control as well as color and material selection.

The intent of this section is to describe the site design principles that must be incorporated in the development plans for each lot to relate to all the conditions of the technical package requirements and to preserve the unique character of the project as a whole.

BUILDING ENVELOPES, LOT PADS AND

SETBACKS

Building Envelopes have been developed with the County of San Diego for each lot based on:

- ◆ Protection of natural features.
- ◆ View retention of adjacent properties.
- ◆ Respect for natural features (rocks, vegetation stands, drainage).

Unless otherwise specified County Zoning setbacks apply to each lot. If the owner does not have a copy of their Technical Package, they must submit additional civil engineering evidence to support the mass and placement of the home, the building envelope and pad elevation. Minimum front setback should be 50' from the road. Side setbacks should be 25'. Rear setback should be 25'.

Each lot contains an Envelope which has been determined using setbacks and other criteria such that the building envelope cannot exceed 40% of the total gross area of the lot.

The building foundation footprint may not exceed the limits of the Envelope with the exception of architectural projections, roof overhangs, courtyard walls less than 6 feet in height, and trellis structures that are 50% open or more.

SITE DESIGN

In addition, pools, tennis courts and grading may occur outside the envelope. Minor shade structures and pergolas may occur outside the envelope as long as the roof and sides are at least 50% open. The Envelope may be moved or modified and major changes in proposed grading will be allowed only by a site plan review, but may not exceed the setbacks required by zoning without normal variance procedures.

The Building Envelope is the area of each lot within which all improvements will be constructed. The major components are:

Centroid

The centroid is the preferred location for the center of mass of the residence. Care should be taken in design to ensure that the main structure is centered in accord with the centroid.

Owners are cautioned that major delays may be experienced at the County if major site plan revisions are requested.

Natural Area

The natural area is that portion of each lot which must remain primarily in an undisturbed state.

Public Area and Private Area

The public area is that area exposed to views from the road or other properties. These areas are the most restrictive in terms of building design area.

The private area is that portion of the building view. Examples would be courtyards, patios, atriums, etc. These areas may be landscaped with approved ornamental landscaping.

Modifications may be made to building envelopes by the ECC for the protection of special features or other design considerations.

Setbacks/Privacy

The purpose of the setback is to ensure that the structure is not the dominant site feature. Therefore all lots will have minimum setback areas which will remain in an undisturbed state except for driveways.

The closer the building is to the road, the more imposing it may be. Therefore, depending on the site and type of home, the building must be set back away from the road to allow for the site character to predominate.

Unless otherwise noted on the technical package, **the minimum setbacks for each property will be 50' front, 25' side and 25' rear. These setbacks must be shown on the plot plan.**

The building envelope is a combination of setbacks and the environmental constraints of each lot. Consult the technical package for allowable buildable areas.

Site Grading

- ◆ No strip grading is allowed. Overall pad grading is to be confined to the boundaries of each lot, and should appear as natural as possible.
- ◆ House pad grading will generally conform with the natural site terrain and avoid major disruptions to the drainage and topography, although it must conform to engineering specifications as approved by the association and the County.
- ◆ Small stepped pads may be required to avoid the unnatural appearance of excessive cut and fill.
- ◆ Under certain circumstances, increases in these dimensions may be necessary for access drives. These variances are subject to approval of the ECC and a soils engineer.

If blasting is required refer to the County blasting requirements Addendum 6

- ◆ Grading may not occur on slopes greater than 50% (2:1) without a variance and reports by qualified soils engineers and geologists.
 - ◆ Fill slopes shall not exceed 15 feet in vertical height and cut slopes shall not exceed 10 feet in vertical height.
 - ◆ A maximum 5-foot-high exposed retaining wall may be used in conjunction with cut and fill slopes as long as the maximum heights of cut and fill slopes are not exceeded.
- ◆ In addition, a maximum 10-foot-high retaining wall may be used to terrace up or down a slope if it is contained within the building pad and utilized for residential purposes.
 - ◆ Such a terraced retaining wall contained within the building pad area may be used no more often than every 20 feet of horizontal distance.
 - ◆ Retaining walls contained outside the building pad and not exceeding 5 feet may occur every 10 feet of horizontal distance.

PROFILE OF RESIDENCES

VIEWSHEDS

Viewsheds of adjacent property owners must be maintained. Therefore all building locations will be carefully reviewed for view retention. Depending on the house design and site concept, additional view easements and restrictions may be placed on each home site by the ECC if it is determined that important views are compromised.

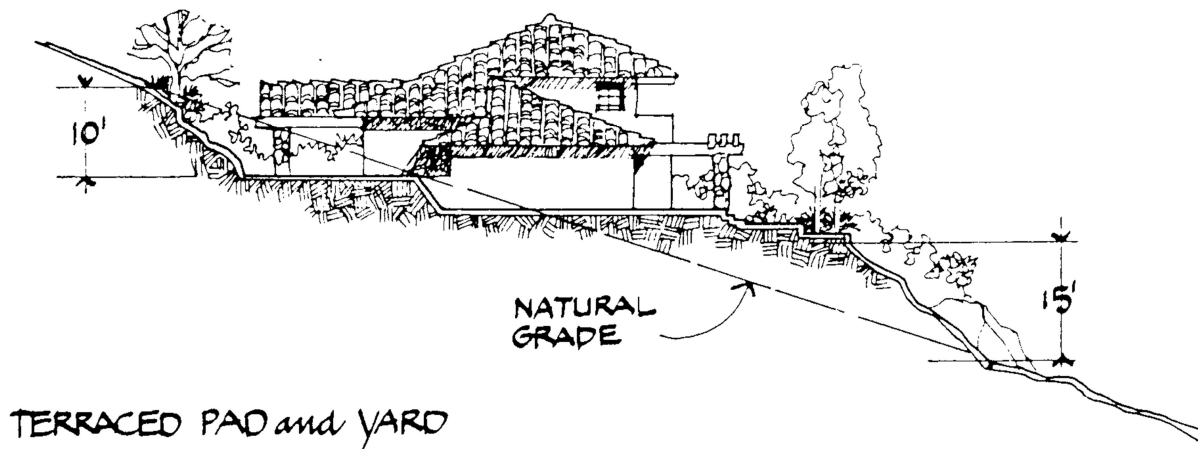
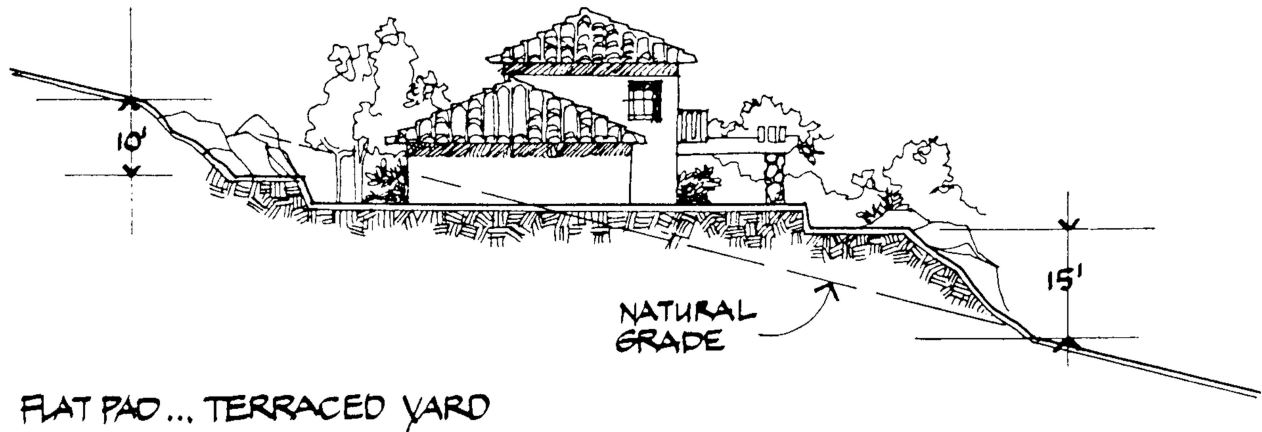
- ◆ Viewsheds as outlined in the technical package for each lot are to be protected.
- ◆ Views from the road are to be protected.

Each building form must be designed to blend with the topography and rock formations when seen from primary view areas. Low profiles are preferred. All structures will be required to respond to

SITE DESIGN

the profile of major terrain features such as saddles and ridges.

particular site, incorporating appropriate vegetation (riparian) if necessary.



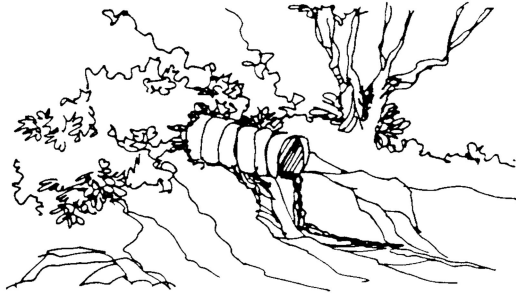
DRAINAGE

Existing drainage swales shall be maintained and enhanced where required. All runoff must be calculated by a civil engineer whose recommendations must be followed. Underground pipes, and runoff drains must be routed to appropriately sized energy dissipaters to reduce the possible effects of erosion.

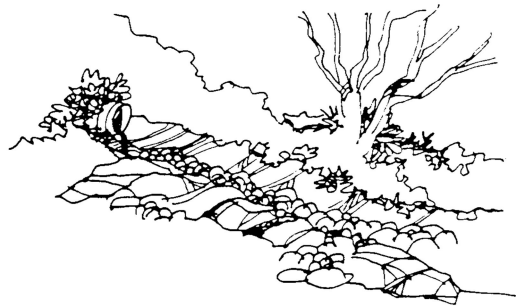
If special measures are required they shall be designed to be a "natural part" of the

Concrete swales or bench drains are to be avoided.

Any modification of the natural drainage patterns will require measures to preclude erosion and siltation. Drainage of the lots may require special piping and energy dissipaters, especially in a down to the rear condition.



NOT PERMITTED



PREFERRED

SITE FEATURES/VEGETATION

All structures will be required to pay particular attention to integration with special rock formations, natural site features and major vegetation as described on the Technical Package or defined by the ECC.

Integration of major site features such as rock formations and vegetation stands with the architectural concept of the building is encouraged.

ACCESS DRIVEWAYS

It is important to avoid scarring the hills and producing ribbons of glare.

All access drives should follow contours and will be located to avoid major site

features or vegetation and to minimize grading with priority of adhering to the full technical package layout.

Drainage of the driveway must be designed to avoid concentrations of runoff that would produce erosion.

Cut and fill banks of drives must be minimized and revegetated with plant material in conformance with the adjacent native material.

All curb cuts for access drives must be repaved with a native rock in a 5-foot radius. The first 5 feet of driveway from the road curb is required to be in asphalt with **Rimrock** stone curbs.

Color of the driveway must harmonize and blend with the colors of the earth of the site and adjacent ground. No grey concrete is allowed.

Driveways may utilize retaining walls or earthstone walls up to 20 feet in height to accommodate unique topographic problems.

Walls in excess of 5 feet in height will need to be screened with native landscaping.

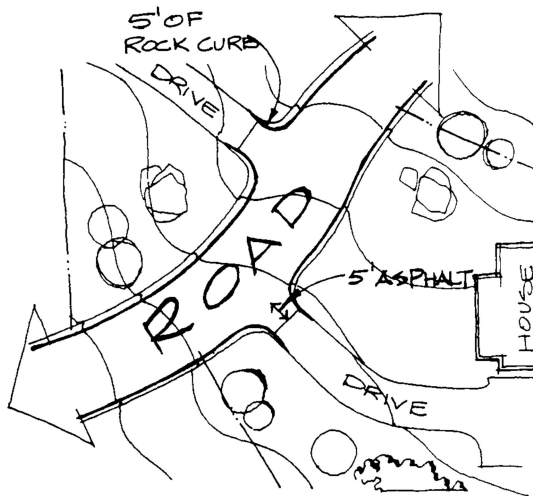
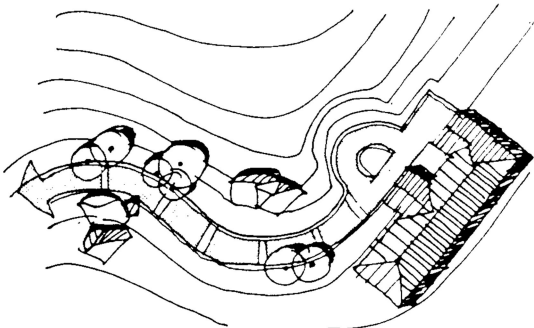
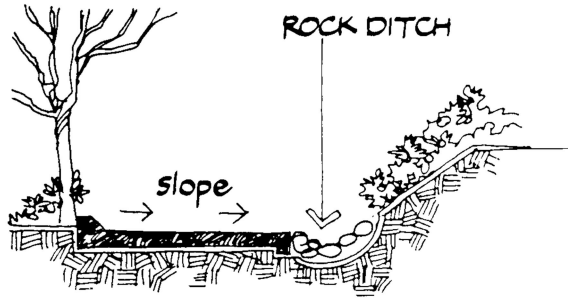
POOLS

Pools must be integrated into boulder formations where possible and made to be a part of the land form.

FENCES AND WALLS

The design of fences and walls must be carefully considered.

SITE DESIGN



They must be designed to be part of the architectural scheme and style. They must blend with the topography and may be used to “extend” the structure into the landscape and make transitions with boulder formations.

TERRACES, DECKS, PATIOS

Terraces, decks and patios must be designed to be part of the architectural style. If cantilevered portions of the structures are visible, they must be unobtrusive.

RESIDENTIAL IDENTIFICATION

Signing and lighting used to identify the residence (house number and name) must be understated and conform to the rock theme of the project.

LIGHTING

It is extremely important that all lighting be subdued. Glare and excessive light shining on the site and/or adjacent properties must be avoided.

All site lighting for residential identification, pools, landscaping, etc. must be indirect and will be carefully reviewed for integration into the site concept.

SOLAR EQUIPMENT

All solar panels for pools, heating and power shall be integrated with roof forms or screened from view of adjacent residences and primary views from access roads.

When collectors are freestanding, they must be integrated into natural earth

forms or manmade landscape forms. Non-reflective materials must be used.

Refer to Addendum 4 for complete guidelines of ground mounted solar devices.

SITE LIGHTING

All site lighting shall be with indirect sources. Any light fixtures where direct sources are visible will not be permitted.

See the Architectural Section for additional guidelines.

AUXILIARY STRUCTURES

All auxiliary buildings and structures that may be constructed on the site must be designed to blend with the character and feel of the main residence. Per CCRs – No guest house may be constructed or maintained on a Lot unless an extra enclosed car space is provided on such lot.

REMODELING OR ADDITIONS

All plans for remodeling or additions to approved structures should appear to be a part of the main building's architectural style.

All such plans must be submitted to the ECC for approval, and go through the same procedures as for new construction.

GENERAL CONSIDERATIONS

Due to a multitude of reasons there are items in the community that would not be approved under the current guidelines. The existence of such items does not make them permissible.

FENCING

Fencing containing any of the following: cable, chain link, plexi-glass, glass or wire is not allowed on any property. If any fencing is required the preferred style is tubular metal fencing and matching gates.

Any of the above mentioned fencing materials installed after November 1, 2020 will require removal within 14 days of written notice. Failure to remove in that time frame will be subject to daily fine until corrected.

EXTERIOR

Any mechanical devices and all projections (i.e. conduits, electrical panels, alarm boxes, camera housing, fans, speakers, etc.) must be treated to match the color of the adjacent surface. When installing solar, satellite dishes or any object on the home that requires wires, pipes or conduit being run it must be done so to minimize the visibility of said items. Either by entering the wall at the first available point or running adjacent to an existing gutter downspout or inside corner. In any case the wires, pipes or conduit must be painted to match the surface they are adjacent to.

4. ARCHITECTURAL CHARACTER

The Character of Rimrock

DESIGN CHARACTER

The qualities of the site are so unique and fragile that the design of the architectural improvements must be based on the following considerations:

- ◆ Respect for landforms, letting the land continue to dominate in terms of scale, proportions and context.
- ◆ Understanding of the timeless qualities of an understated elegance of simple forms of appropriate colors and natural materials.
- ◆ Consideration of the unique attributes of each site: views, wind, sun orientation, and letting those characteristics determine the plan and massing.

This section classifies and describes selected architectural styles and their characteristics which have been determined to be most appropriate to these considerations.

Because the design character of **Rimrock** is an best reflect the qualities and philosophy of the project: attitude and a lifestyle as much as an architectural vocabulary, these styles are intended to be a frame of reference for creative and innovative designs.

ARCHITECTURAL STYLES

Three styles have been selected to illustrate the architectural character of **Rimrock** because they best reflect the qualities and philosophy of the project:

- ◆ Rimrock.
- ◆ California Ranch/Hacienda.
- ◆ Spanish/Mediterranean.

These styles have been selected because they have a consistency and commonality of materials, scale and massing. They will allow for a side variety of expression without compromising the quality of the site and development. In addition, they all have an indigenous character and Southern California quality.

Different interpretations of the suggested styles may be stronger than others. Therefore the ECC may require additional landscaping and site design measures to ensure compatibility of a particular design to a particular location based on visibility from the road and relationship to adjacent structures.

Illustrations on the following pages indicate how these styles might be applied to typical sites in **Rimrock**.

Rimrock styles require windows and doors to be inset at least 4". DORMER style roof vents are not allowed in ECC submissions.

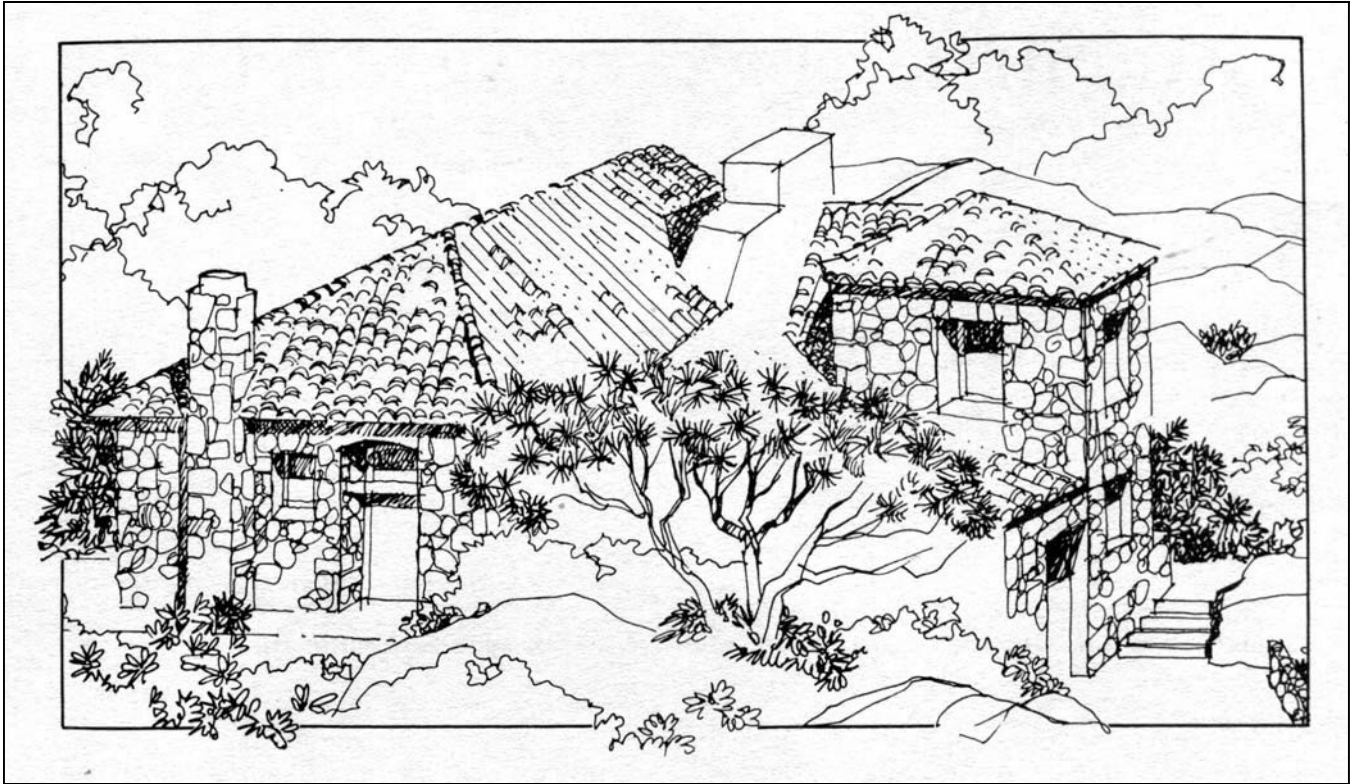


Figure 4-1: A variety of informal architectural forms nestled into a major rock outcropping with minimal disruption to the vegetation.

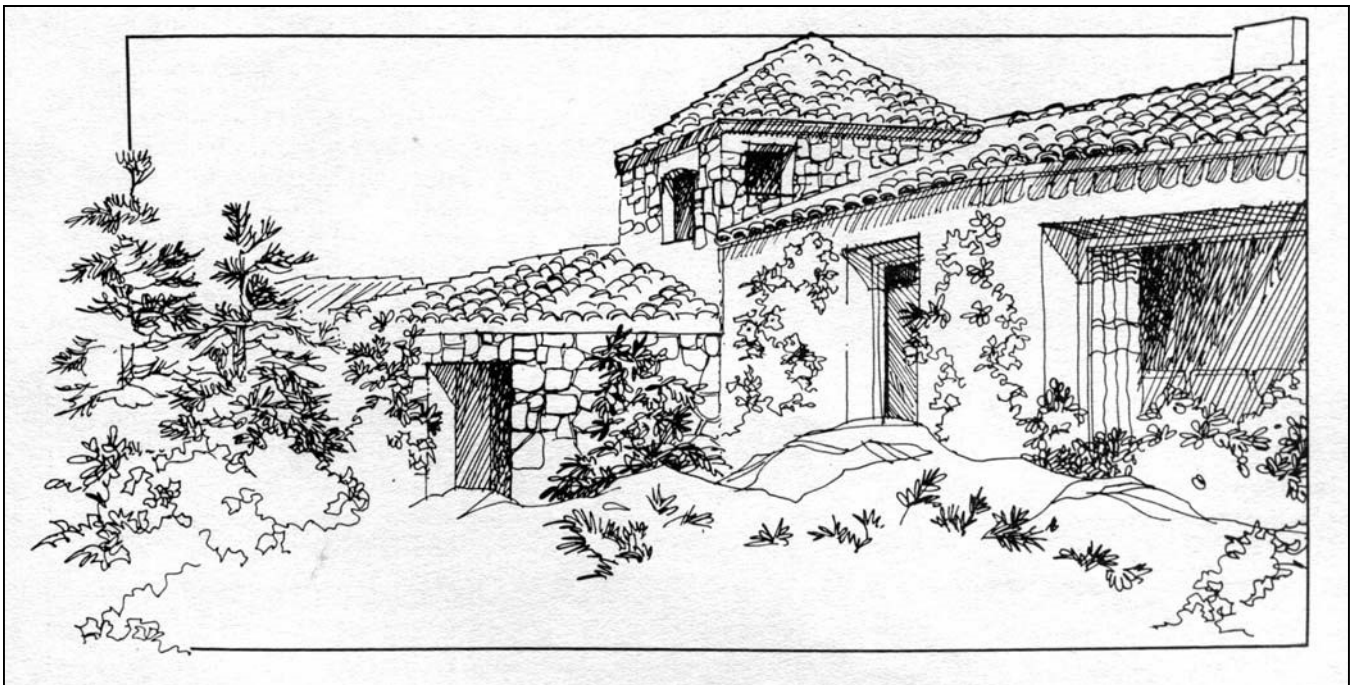


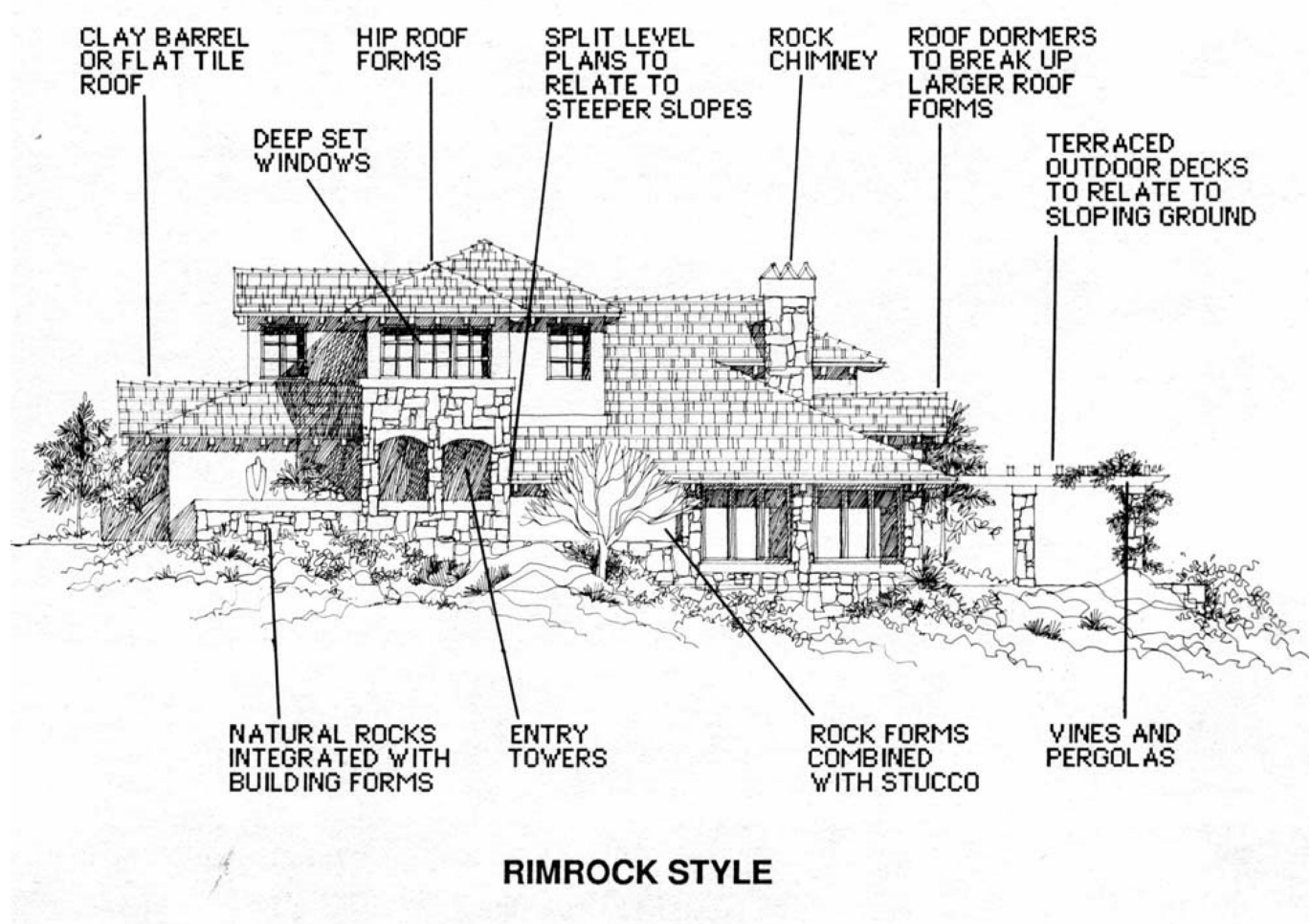
Figure 4-2: A simple informal arrangement of multiple levels dictated by the natural terrain. Large areas of glass defined by thickened walls.

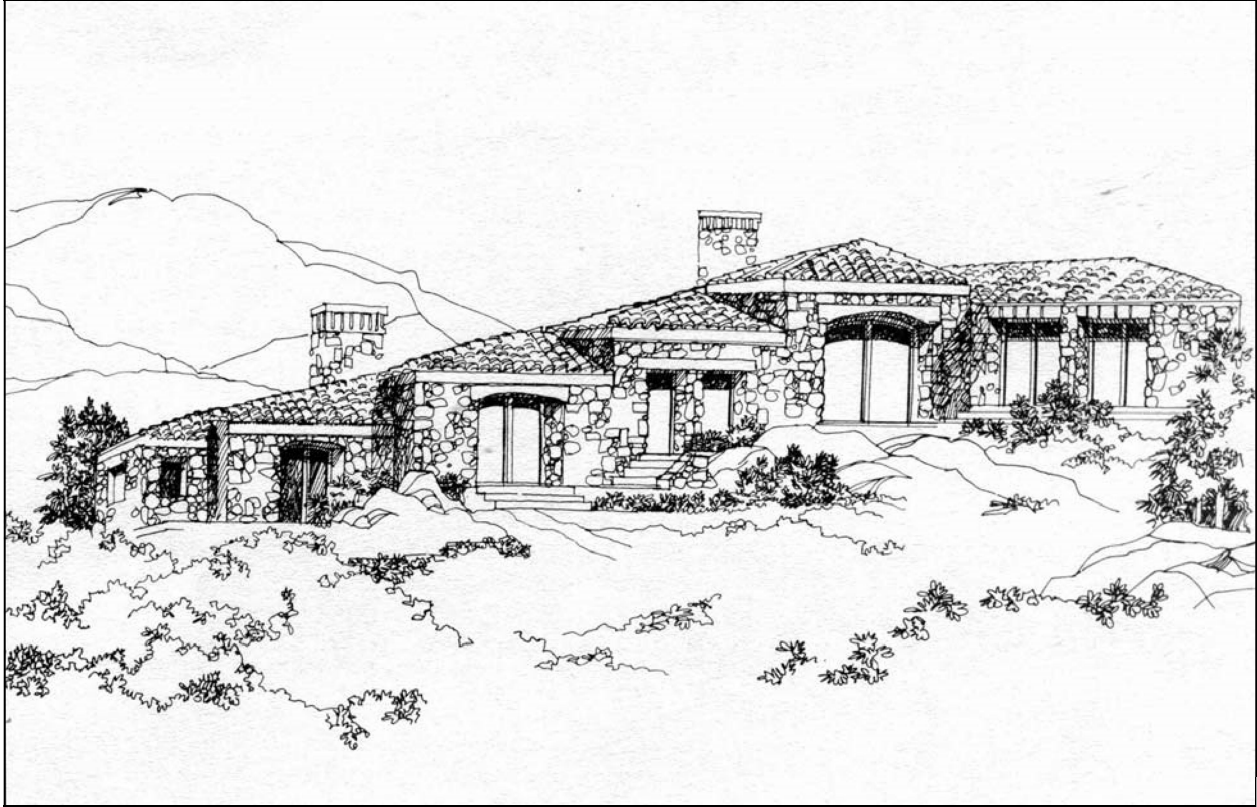
ARCHITECTURAL CHARACTER

RIMROCK STYLE

The sketch elevation below graphically describes the primary features of the **Rimrock** style of architecture. The major characteristics of the style are derived from the vernacular architecture of the Mediterranean where rocky terrain and steep slopes dictate an informal approach to plan and form.

The **Rimrock** style has much in common with the other two styles: the use of terraces, gardens, patios, courtyards and the strong relationship between indoors and outdoors. It also has several distinguishing features: native rock is used for foundation and structural support; the site dictates a more natural form and open plan. In addition, large glazing areas may be used, as opposed to smaller windows.





FORM AND MASS The floor plan is generally informal, with the rooms and spaces organized to fit between and among rock outcroppings and major vegetation stands. The structure may be of two stories with portions at three stories and multiple levels terracing to fit the terrain. Roof pitches may vary to relate to the profile of the terrain with 5:12 being the preferred slope.

MATERIALS AND COLORS Roofs may be of clay 2 piece barrel tile, natural slate or flat concrete tile. Copper may also be used in select locations if it is to be weathered. Walls should be of stucco in tones relating to the coloration of the surrounding terrain.

Dormer style roof vents are not allowed.

OPENINGS Large areas of glass may be used if protected with ample overhangs. Casement windows or awning windows are appropriate. Sliding doors or French doors may be used. All windows and doors to be inset at least 4 inches. Vinyl windows are not allowed.

ARCHITECTURAL CHARACTER

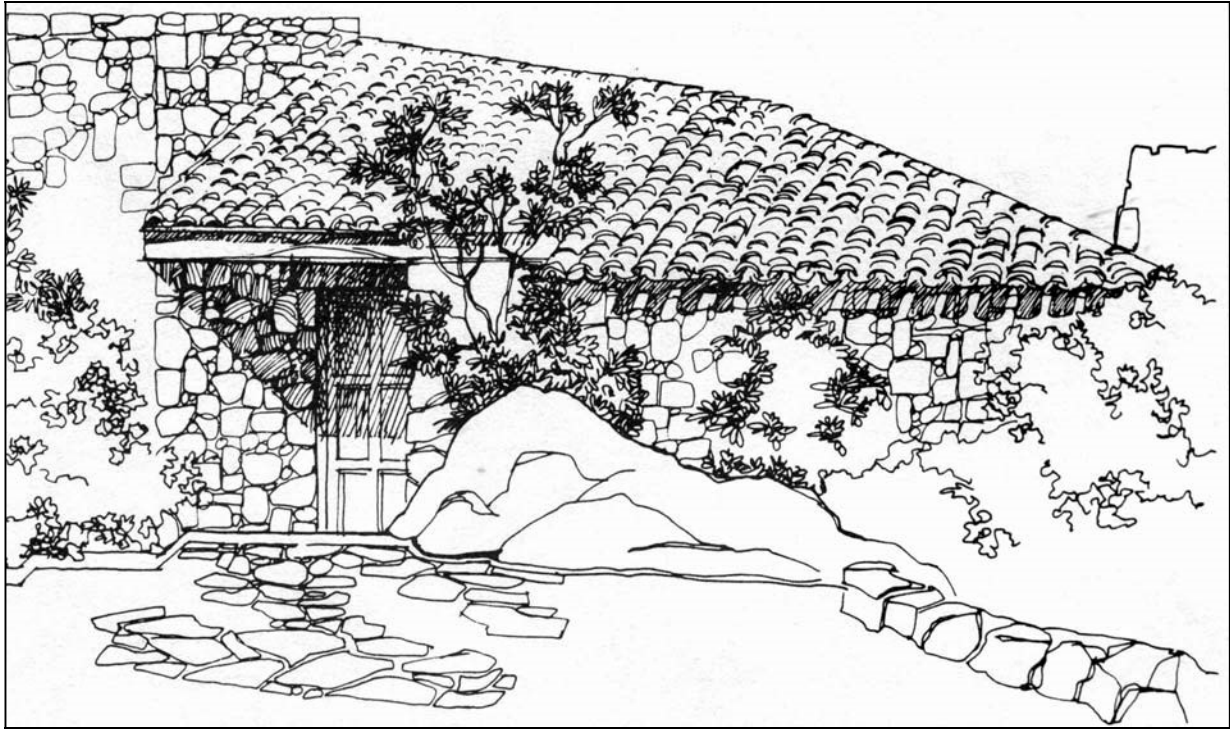


Figure 4-3: An unassuming entrance from a motor court which has been integrated with natural rock outcroppings and native vegetation.



Figure 4-4: A quiet courtyard built around trees and rocks, with the division between indoors and outdoors made indistinguishable.

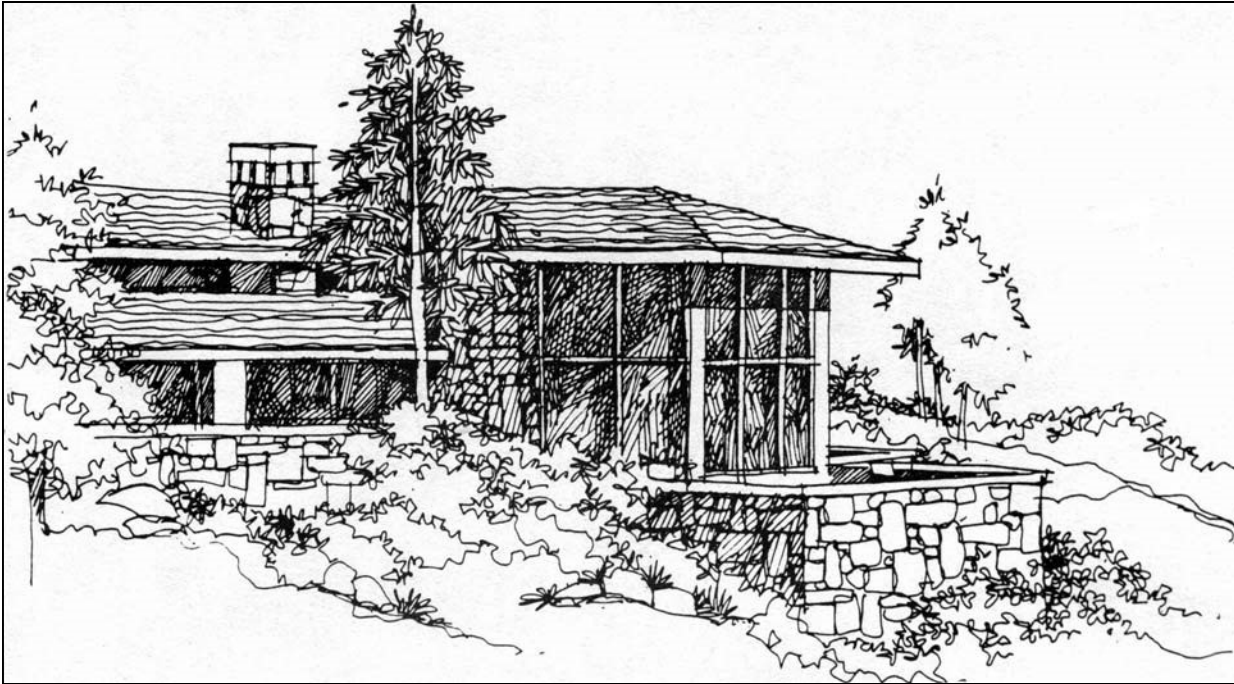


Figure 4-5: An outdoor living area used to extend the form of the building to relate to the slope of the topography.



Figure 4-6: A single story informal plan integrated with, and subordinated to, the major rock outcroppings of a level pad.

ARCHITECTURAL CHARACTER

CALIFORNIA RANCH/HACIENDA STYLE

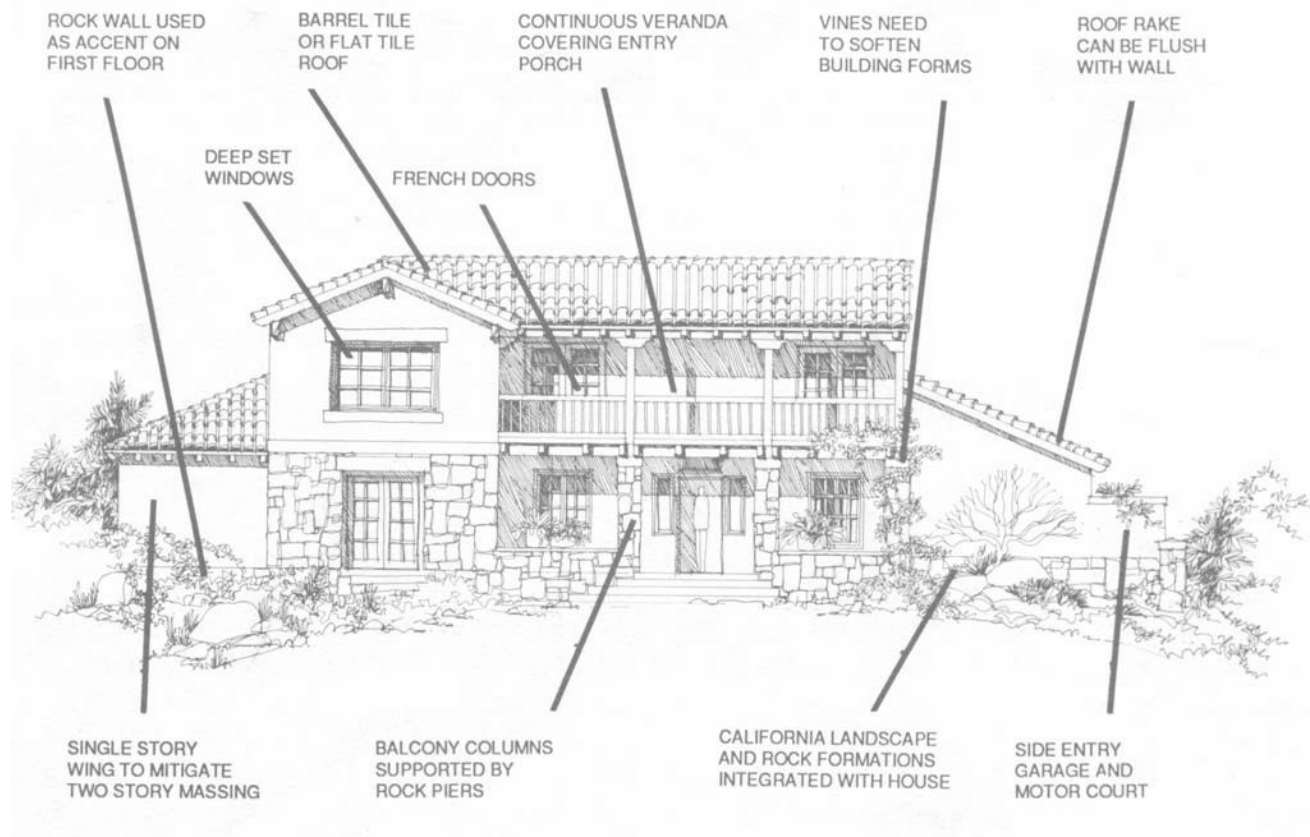
The sketch elevation below graphically describes the major characteristics of the vocabulary of the California Ranch/Hacienda style house. Although two distinct styles, they are treated as one in this chapter due to their many similarities.

The California Ranch house was adapted from the early Southern California Adobes. Popularized by Cliff May, it uses simple, single story forms.

The Hacienda style house was also adapted from the early California and Mexican Adobes, but was adapted with “Colonial” style details in Monterey.

Although the balcony as shown is more characteristic of the Hacienda style, the notion of a veranda or loggia, and its use as an indoor/outdoor room, is a prime characteristic of both styles.

Plans are typically single story in the Ranch style and two story in the Monterey style. Both styles are most adaptable to an informal type of floor plan.



CALIFORNIA RANCH/HACIENDA STYLE



- FORM AND MASS** Informal plan generally organized around a courtyard or patio. Predominately single story with the appearance of thick walls. Low pitched roofs (4:12) of hip and gable form. Automobile courts and a simple entrance contrast with a more elaborate veranda or loggia to the rear.
- MATERIALS AND COLORS** Roofs of 2 piece clay tile, flat concrete tile or fireproof shake. Walls are of stucco and/or block or adobe (generally painted off-white). Board and batten or other wood siding is also used. Colors tend to earth tones with brighter color accents for windows, shutters and doors. Dormer style roof vents are not allowed.
- OPENINGS** Windows are usually double hung or casement type. Large glass areas are oriented to views and outdoor areas. Sliding doors as well as French doors are used. All windows and doors to be inset at least 4". Vinyl windows are not allowed.
- WALLS & FENCES** The walls and fences of the Ranch style are usually wood, slump block or adobe, painted the same color as the main structure. Gates, when necessary, are typically of wrought iron and/or wood painted to match or accent the main structure.

ARCHITECTURAL CHARACTER

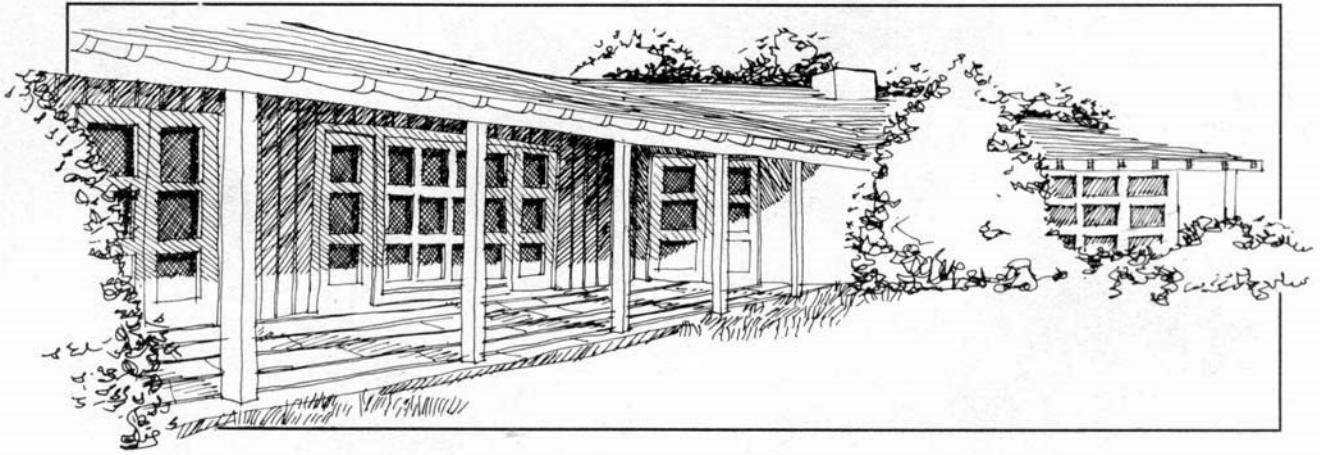


Figure 4-7: The Ranch house was one of the first architectural styles to provide an extension of the indoor space to the outside through the use of large picture windows, covered porches and patios.

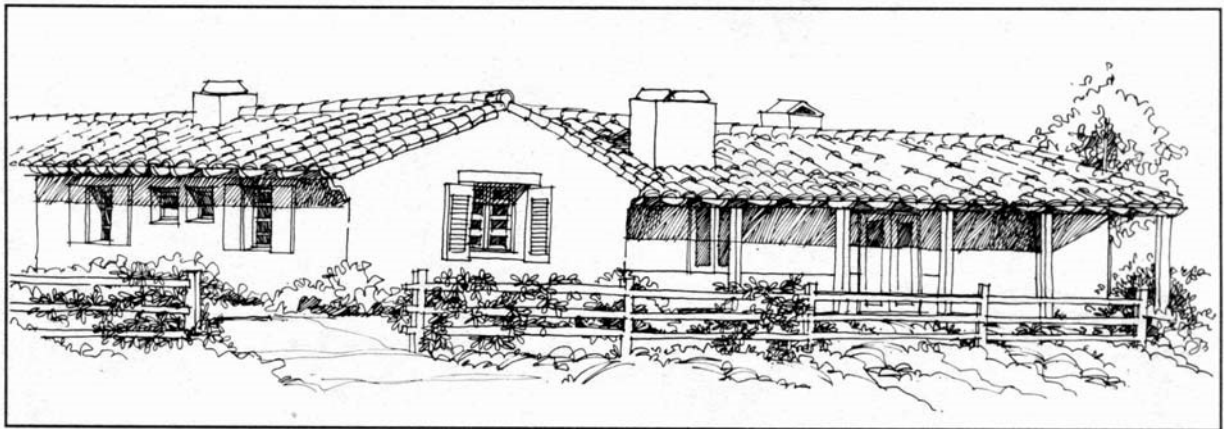


Figure 4-8: Three-rail fences provide a sense of enclosure and definition without restricting view and ventilation.

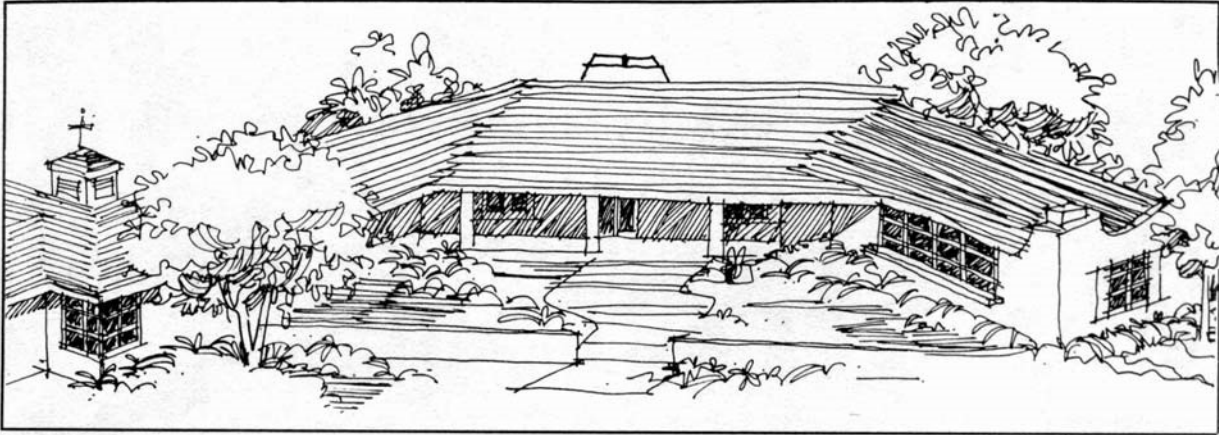


Figure 4-9: Informal, rambling plan form allows the structure to fit with the topography and major boulder formations.

THE SPANISH/MEDITERRANEAN STYLE

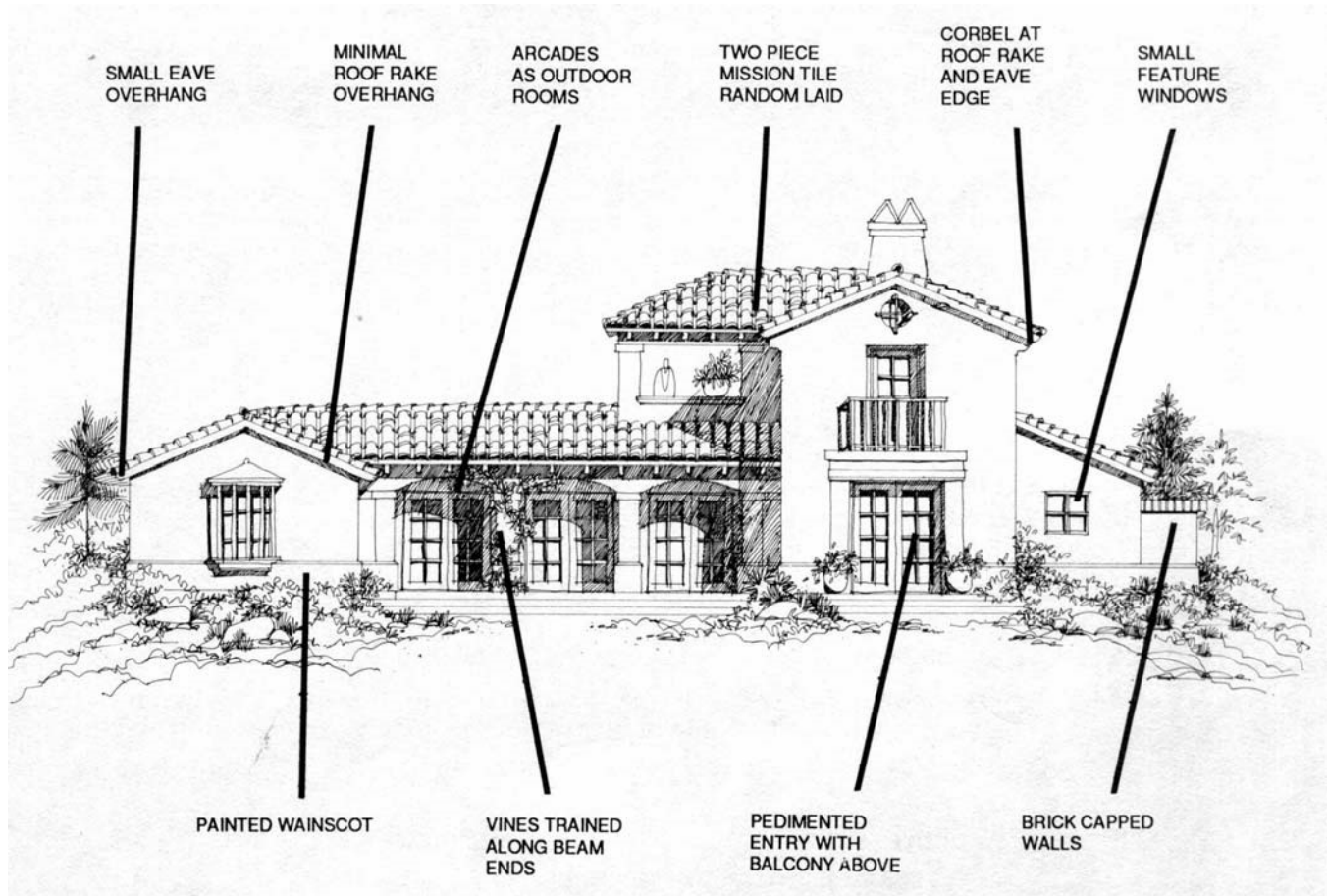
The sketch elevation below graphically describes the major characteristics of the vocabulary of the Spanish/Mediterranean style.

This style is an amalgam of similar styles commonly referred to as Spanish-Mediterranean or Mexican. Popularized in Southern California and Florida in the 1920's and 1930's, it is generally characterized by barrel tiled roofs, stucco walls and deeply inset openings.

Although the example shown below has a roof with a "clipped eave," overhanging eaves are also a common characteristic of the style. With a roof overhang, the rafter tails are usually carved or rounded.

Floor plans are generally organized around a patio or courtyard. The elevation may be one or two story or a combination. This style adapts very well to subtle changes of topography.

ARCHITECTURAL CHARACTER



THE SPANISH/MEDITERRANEAN STYLE



FORM AND MASS Simple, strong, one and two story volumes with tile roofs of 4:12 pitch. Eaves are rarely used and simple tile rakes are typical. Courtyards and patios are used extensively. Mass predominated over openings.

MATERIALS AND COLORS Stucco, with little or no texture, is the typical wall material. 2-piece clay tiles are required. Off white or beige is the primary color with accents of blue, ochre and red. Wrought iron or wood is used for window grates and balconies. Awnings may be used for sun control. Dormer style roof vents are not allowed.

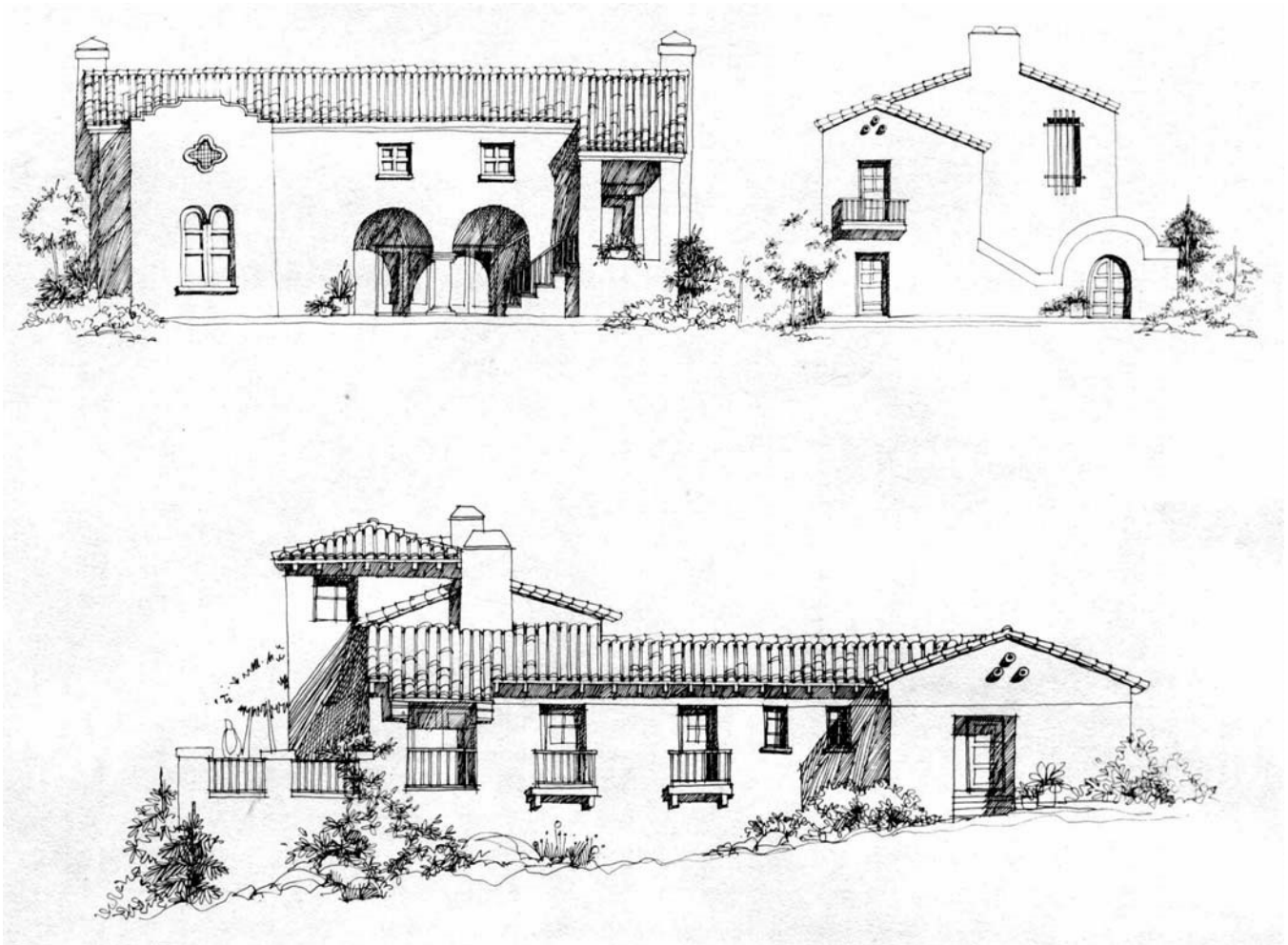
OPENINGS Limited use of arches. Deep inset windows, preferably of wood; limited use of stucco-patterned window grills. Major openings are occasionally accented with raised or molded surrounds. All windows and doors to be inset at least 4". Vinyl windows are not allowed.

ARCHITECTURAL CHARACTER

The simple materials of stucco and tile together with the wide variety of details provide an almost limitless range of architectural possibilities.

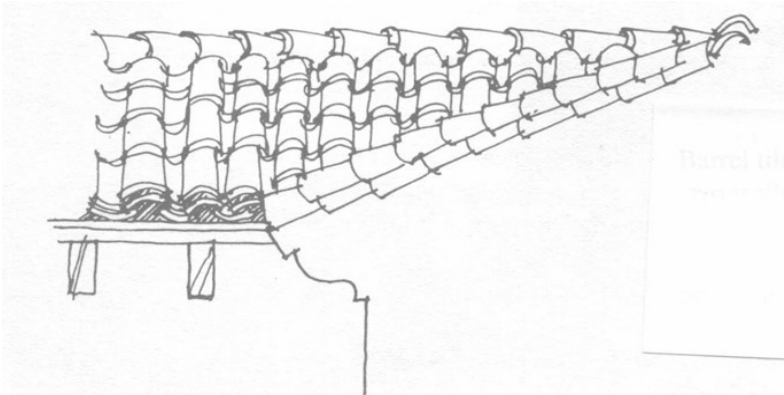
Restraint and a careful study of building masses, proportions and scale are the key to the successful rendition of this vocabulary.

Walls and fences, of the Spanish/Mediterranean style are typically low or high stucco walls with brick/ cut stone caps. Suitable alternatives include the use of pilasters (stucco covered and brick or cut stone caps) with wrought iron railings between. Gates are of wrought iron.

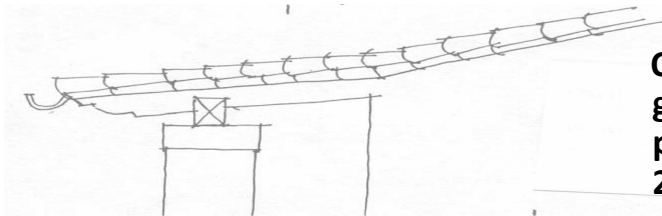


DESIGN FEATURES

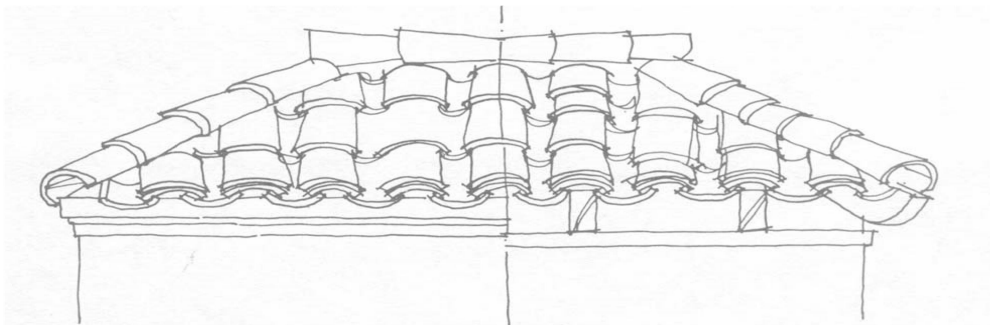
The design details shown on the following pages are typical of the Spanish/Mediterranean style.



Barrel 2 piece tile roof 4:12 pitch. Double or triple starter tiles; no fascia board or rake at gable ends. Double tile rake flush with wall or Eaves flush with wall or exposed



Overhanging beams shaped at ends; gutter to be used as fascia trim. Openings protected overhangs, roof pitch can be 2:12 over beams-barrel tile ridge.



Two types of tile patterns are common: regularly laid tiles with a set spacing of tiles, and random laid where the pattern is more irregular. Occasionally the joints between tiles are accented with mortar build up in the random laid style. It is important to start the eave line with booster tiles.

5. LANDSCAPE CHARACTER

Landscaping Guidelines for Rimrock

For new construction projects it is required that the landscape plans be submitted and approved prior to the ECC's rough framing inspection. The rough framing inspection should be performed prior to any exterior finishes being applied to the structure. The landscaping shall be installed within twelve (12) months of the County granting a Certificate of Occupancy. Landscaping only plans submitted by Developer home buyers are to be approved within six (6) months and installed within twelve (12) months of closing.

The ECC requires three full sets of plans at the submittal and any subsequent re-submittal. A complete Landscaping plan submittal shall consist of the following elements:

Landscape Plan- Includes a plant legend and notes with plant symbols, quantity of plant material, and sizes of plants, as well as the location of all plant material on the property.

Hardscape Plan- Includes a construction legend and notes with symbols identifying all hardscape improvements such as fences, walls and paved areas. The location of all hardscape improvements should be clearly identified on plans such

as paving, fences, walls, pilasters, arbors, trellises, gazebos, patio covers, pools, spas and fountains.

Construction Plan- Includes dimensioning plan of all hardscape and softscape areas as well as construction notes and legend. drain lines, down spouts, and points of connection. Illustrate on drawings finish surfaces, finish grades, and invert and inlet elevations and direction of water flow.

Grading & Drainage Plan- Includes a drainage legend and notes with symbols identifying all drains and drain lines. Locations of all proposed drains.

Lighting Plan- Includes a lighting legend, notes, and cut sheets and locations of all proposed lights.

Irrigation Plan- Includes irrigation legend and notes with symbols identifying the type of irrigation equipment used. Illustrate on drawings head layout, valve locations, meters, controllers, gate valves, back flow devices, pipe sizes etc.

Details- A construction detail needs to be provided of all proposed vertical elements. Details should include proposed materials, colors and dimensions.

All landscape drawings should have pertinent base information that includes topography proposed and existing property lines, setback lines, and the building envelope in the technical package.

California Native plant material is the primary plant material at **Rimrock**. It is important that as much of it remain in as natural a state as possible to retain the character of **Rimrock**.

Any introduced landscaping must harmonize with the native vegetation. Plants that have different growing requirements than adjacent native species may not be used.

PLANTING DESIGN PRINCIPLES

Although planting design and selection of material will vary with each residence, there are several principles that should be used in all planting at **Rimrock**:

- ◆ Large-scale masses of plant material should be used as opposed to single unrelated plants.
- ◆ Use plant material in groupings related to amount of irrigation required.
- ◆ Use of hardscape should be minimized.
- ◆ Avoid plant material that has high contrasts with surrounding vegetation.

A Guide to the preferred species and varieties of plant material are listed at the end of this section.

LANDSCAPE DESIGN

The landscaping concept of each residence should be carefully considered to be integral with the architectural theme and site planning.

All three styles selected for **Rimrock** have many landscaping characteristics in common:

- ◆ Southern California Indoor/Outdoor relationships are important.
- ◆ Water-conserving plant materials and native vegetation are appropriate for ornamental and general landscaping.
- ◆ Small and intimate private areas such as patios and container gardening are typical.

The integration of general landscape design devices such as pergolas, gates, and walls are part of the architecture of each style and will foster an overall style unity so important to the overall theme of **Rimrock**.

There are also several unique landscaping devices that are typically characteristic of the three styles.

Rimrock Style

- ◆ Rock walls used to extend the building into the landscape.

LANDSCAPE CHARACTER

- ◆ Informal character to predominately native vegetation.
- ◆ Trees and Rock formations brought into the house as design elements.
- ◆ Integration of landscape with architecture into one unified composition, without formal definition of inside and outside.
- ◆ Simple large scale, bold statements of plant material in scale with the boulders.

California Ranch/Hacienda

- ◆ Loggias as outdoor living areas with tile pavers or flagstone.
- ◆ Informal masses of shrubbery accented by deciduous trees such as California sycamores and evergreens.
- ◆ Natural "overgrown" character.
- ◆ Drive-up motor courts of brick and flagstone.

Spanish/Mediterranean

- ◆ Colored accent tiles are used as an accent against plain stucco walls.
- ◆ Small fountains and formal water devices.
- ◆ Formality and symmetry in selection and placement of plant material.
- ◆ Plaster accented by shadows of plant material.
- ◆ Lush tropical plants in small non visible areas to accent "oasis."
- ◆ Courtyards of walls with grillwork for breezes.
- ◆ Tile pavers.

DESIGN FACTORS

There are several design factors that need to be considered as each landscape plan is developed.

VIEWS

All houses will be sited to take advantage of existing views around and through existing major landscape features. All introduced plant material must not block views of adjacent properties.

IRRIGATION

Because care must be taken to not over-water the native vegetation, an irrigation system should be designed by a licensed landscape architect or contractor.

MAINTENANCE

Although the majority of the landscape will be native and require very little upkeep, a program of maintenance must be initiated for all areas exposed to the primary views of other residents. Owners shall trim and restrain all trees, shrubs or plantings of any kind so that they shall not be allowed to overhang or otherwise encroach upon, above, or below any sidewalk or street. The Association also has a Common Area easement for landscape, irrigation, and drainage maintenance and located on a 10-foot wide strip of real property running the length of and parallel to the Private Streets and extending a width of 10 feet

from each side boundary of the Private streets.

LANDSCAPE EASEMENT

The Association is generally obligated to maintain the "Landscape Easement" area which comprises a 10-foot wide area on both sides of the private streets in the Rimrock community. The Association generally maintains this area in a fire safe condition. However, because the Landscape Easement area is located on homeowner lots, the Owner of each respective lot may submit an architectural request to the Association to install their own landscaping improvements within the Landscape Easement area on their lot. Owners will not be allowed to enclose such Landscape Easement area or install permanent improvements such as swimming pools. Any request is subject to Association approval, and will require the Owner to assume full responsibility over the area, as well as any damage caused by the Owner's improvements. In the event that an Owner or their successor fails to maintain the Landscape Easement area, the Association will have the right to maintain the area in a fire safe condition consistent with Association standards.

SLOPE PLANTING

Disturbed slopes will be kept to a minimum, however where there is disturbance to natural soil or where there are slope banks, the native vegetation must be re-introduced and blended with the existing to minimize the appearance of disruption and to minimize erosion. It may be necessary to stabilize disturbed areas with boulders or rock walls.

LANDSCAPE TRANSITIONS

Fundamental to all landscaping at Rimrock is the concept of using primarily native vegetation. However in certain areas ornamental planting can be used. In such cases, the transition between native and ornamental must not be designed in gradations of plant material or architectural walls to make it appear as natural as possible.

DRAINAGE AND SOIL EROSION

In addition to carefully considered plant material and minimizing solid disturbance, the key to preserving the natural appearance of the landscape of each residence will be the control of erosion through carefully considered drainage patterns. Swales, special energy dissipaters or other control devices may be necessary to reduce the effect of water runoff.

HARDSCAPE

Hard surfaces such as driveways and walk ways should be minimized and be integrated with the landscape as much as possible. Tones should blend with the color of the earth on the site. Visible driveways may require special design consideration.

FENCING

Fencing may be considered appropriate for coverage of large areas if the fencing is disguised with plant material to blend into the natural vegetation. Chain Link is not allowed.

PROPANE TANKS

Propane tanks need to be masked with a solid barrier in touch with the architectural design of the home or at least 75% coverage by plant material at the time of planting. The ECC reserves the right for final approval on type of propane coverage.

BACK FLOW DEVICES AND IRRIGATION**VALVES**

Back flow devices and irrigation valves shall be concealed by plant material or a manufactured boulder as approved by the ECC.

PLANT MATERIALS

Recommended Plant List – Revised May 2020 – There may be plants within the community on the not allowed list. These

plants were allowed before the guidelines have been updated to take into account current weather, drought, fire and WUI condition. IN PARTICULAR ANY PLANT NOT ON THE RECOMMENDED LIST MUST BE APPROVED BY THE ECC BEFORE PLANTING OR ADDING TO LANDSCAPING as do any and all other plants.

No more than 20% of your ground cover landscaping between your house and any street may be installed rock. Ideally any rock used in this area would be smooth river rock in excess of 2" Samples of the rock to be used must be reviewed by the ECC prior to any approval and installation.

TREES

Botanical Name	Common Name
Arbutus unedo	Strawberry tree
Aesculus californica	California Buckeye
Albizia julibrissin	Silk Tree
Avocado spp.	Avocado Tree
Cassia leptophylla	Gold Medallion Tree
Calodendrum capense	Cape Chesnut
Catalpa speciosa	Catalpa
Cercis occidentalis	Western Redbud
Citris "thornless" spp.	Citrus Trees
Erythrina coralloides	Naked Coral Tree
Ficus retusa	Indian Laurel Fig
Fraxinus velutina 'Modesto'	Modesto Ash
Hymenosporum flavum	Sweetshade
Jacaranda mimosifolia	Jacaranda
Juglans californica	California Black Walnut
Koelreuteris bipinnata	Chinese Flame Tree
Lagerstroemia indica	Crape Myrtle
Metrosideros excelsus	New Zealand Christmas Tree
Maytenus boaria	Mayten Tree
Pistachia chinensis	Chinese Pistach
Magnolia soulangiana	Saucer Magnolia
Olea Europaea 'Swan hill'	Fruitless Olive Tree
Platanus acerifolia	London Plane Tree
Platanus occidentalis	American Sycamore
Podocarpus 'Gracilior'	Fern pine
Prunus 'Krauter Vesuvius'	Vesuvius Flowering Plum
Pyrus calleryana 'Aristicrat'	Ornamental Pear
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Quercus dumosa	Scrub Oak
Quercus ilex	Holly Oak
Quercus engelmanni	Engelman Oak
Quercus kelloggii	California Black Oak

LANDSCAPE CHARACTER

TREES (Continued)

Botanical Name	Common Name
Tabebuia avellanedae	Trumpet tree
Tipuana tipu	Tipu Tree
Ulmus parvifolia	Evergreen Elm

PALMS - THOSE IN BOLD MUST BE 50 FEET FROM ANY STRUCTURE

Botanical Name	Common Name
Phoenix Canariensis	Canary Island Date Palm
Syagrus romanzoffiana	Queen Palm
Archontophoenix	King Palm
Cycas revolute	Sago Palm
Phoenix roebelenii	Pygmy Date Palm
Chamaerops humilis	Mediterranean Fan Palm

SHRUBS AND VINES

Botanical Name	Common Name
Achillea millefolium	Common Yarrow
Aeonium spp.	Hens and Chicks, Black Aeonium
Agapanthus spp.	Lily-of-the-Nile
Agave spp.	Agave
Aloe spp.	Aloe
Anisodonteia spp.	Cape Mallow
Antigonon leptopus	Rosa de Montana
Anigozanthos flavidus	Kangaroo Paw
Arctostaphylos 'Emerald Green'	Manzanita
Artemisia pycnocephala	Sandhill Sage
Artemisia 'Powis Castle'	Wormwood 'Powis Castle'
Aucuba japonica	Japanese Aucuba
Azalea spp.	Azalea
Baccharis spp.	Coyotebrush
Bougainvillea spp.	Bougainvillea
Buddleia spp.	Butterfly Bush
Buxus spp.	Boxwood
Cactii spp.	Cactus
Caliandra californica	Fairy Duster

SHRUBS AND VINES (Continued)

Botanical Name	Common Name
Callistemon spp.	Bottlebrush
Camellia spp.	Camellia
Carissa grandiflora 'Prostrata'	Natal Plum
Cassia leptophylla	Gold Medallion Tree
Ceanothus 'Yankee Point'	California Lilac
Cistus spp.	Rockrose
Coleonema pulchrum	Pink Breath of Heaven
Clematis armandii	Clematis
Clytostoma callistegioides	Violet Trumpet Vine
Comarostaphylis diversifolia	Summer Holly
Coprosma kirkii	Mirror Plant
Cordyline australis	Cordyline
Contoneaster spp.	Cotoneaster
Dasyllirion	Sotol
Dendromecon spp.	Bush poppy
Distictus buccinatoria	Blood-red Trumpet Vine
Dracaena draco	Dragon Tree
Echium spp.	Pride-of-Medeira
Elaeagnus pungens	Silverberry
Encelia spp.	Encelia
Eriogonum spp.	Buckwheat
Eschscholzia californica	California Poppy
Escallonia spp.	Escallonia
Euphorbia spp.	Euphorbias
Euphorbia tirucalli	Sticks on Fire
Fatshedera lizei	Bush ivy
Fatsia japonica	Japanese Aralia
Feijoa sellowiana	Pineapple Guava
Ficus pumila	Creeping Fig
Fragaria virginiana	Wild Strawberry
Fremontodendron spp.	Flannel Bush
Galvezia speciosa	Island Bush Snapdragon
Garrya elliptica	Silktassel
Gelsemium sempervirens	Carolina Jessamine
Grevillea spp.	Grevillea

LANDSCAPE CHARACTER

SHRUBS AND VINES (Continued)

Botanical Name	Common Name
Hakea suovaolens	Sweet Hakea
Hedra spp.	English Ivy
Hesperaloe parviflora	Hesperaloe
Heuchera spp.	Coral Bells
Hemerocallis spp.	Daylily
Heteromeles arbutifolia	Toyon
Hibiscus spp.	Chinese Hibiscus
Iris douglasiana	Douglas Iris
Iva haysiana	Hayes Iva
Juncus	California Gray Rush
Kniphofia uvaria	Red Hot Poker
Lantana spp.	Lantana
Lavandula spp.	Lavender
Lavetera	Tree Mallow
Leptospermum spp.	Tea Tree
Ligustrum japonica 'Texanum'	Japanese privet
Limonium perezii	Sea lavender
Liriope spp.	Lily Turf
Lotus scoparius	Deerweed
Lupinus bicolor	Pigmy-leaved Lupine
Lupinus nanus	Sky Lupine
Lyonothamnus floribundus	Catalina Ironwood
Mahonia spp.	Mahonia
Melaleuca nesophila	Pink Melaleuca
Mimulus puniceus	Red Bush Monkey Flower
Narcissus spp.	Daffodil
Nandina domestica 'Compacta'	Heavenly bamboo
Opuntia littoralis	Beavertail
Osmanthus fragrans	Sweet Olive
Pelargonium peltatum	Ivy Geranium
Penstemon spp.	Penstemon
Philodendron spp.	Philodendron
Phormium spp.	New Zealand Flax
Pittosporum undulatum	Victorian Box
Pittosporum tobira spp.	Mock Orange

SHRUBS AND VINES (Continued)

Botanical Name	Common Name
Plumbago spp.	Cape Plumbago
Protea spp.	Protea
Prunus caroliniana	Carolina Cherry
Prunus ilicifolia	Hollyleaf Cherry
Prunus lyonii	Catalina Cherry
Punica granatum	Pomagranate
Rhamnus californica	Coffeeberry
Rhamnus crocea 'ilicifolia'	Redberry
Raphiolepis indica	India Hawthorne
Raphiolepis umbellata	Yeddo Hawthorne
Rhus integrifolia	Lemonadeberry
Ribes	Gooseberry or Current
Romneya coulteri	Matilija Poppy
Rosa spp.	Roses and Carpet Roses
Salvia spp.	Sage
Salvia leucantha	Mexican Sage
Sarcococca ruscifolia	Fragrant Sarcococca
Sedum spp.	Sedum
Senecio Mandraliscae	Blue Chalk Sticks
Solanum jasminoides	Potato Vine
Strelitzia Nicolai	Giant Bird-of-paradise
Strelitzia reginae	Bird-of-paradise
Trichostema lanatum	Wolly Blue Curls
Tulbaghia violacea	Society Garlic
Verbena spp.	Verbena
Viburnum tinus	Laurustinus
Vitis	Grape
Westringia fruticosa	Westringia
Wisteria spp.	Wisteria
Xylosma congestum	Xylosma
Yucca spp.	Yucca
Zauschneria spp.	California Fuchsia

LANDSCAPE CHARACTER

GROUNDCOVERS

Botanical Name	Common Name
Arctostaphylos 'Emerald Green'	Manzanita
Bougainvillea spp.	Bougainvillea
Ceanothus horizontalis	California Lilac
Dymondia margaretae	Dymondia
Eriogonum Fasciculatum foliolosum	Buckwheat
Lampranthus spectabilis	Trailing Ice Plant
Lantana spp.	Lantana
Lonicera japonica	Japanese Honeysuckle
Origanum spp.	Oregano
Salvia sonomensis	Creeping Sage
Sedum spp.	Sedum
Sedum sieboldii	October Daphne
Sedum 'abbeydore'	NCN
Senecio spp.	Senecio
Senecio Mandraliscae	Blue Finger
Senecio serpens	Blue Chalk Sticks
Stachys byzantine	Lambs Ear
Thyme spp.	Thyme
Trachelospermum jasminoides	Star Jasmine
Nepeta faassenii	Catmint

New ground covers added May 2020

Cotula: hardy, requires full sun, walkable, low/no additional water use, yellow blooms

Lampranthus: low growing succulent, dry or moist soil, low water use, colorful blooms, suitable for all well drained soil types, good on slopes

Malephora: evergreen succulent, bright green foliage, pink or yellow flower, full sun, low/no additional water, spreading growth, self propagating, good for slopes

NON-ALLOWABLE LIST FOR FIRE REASONS

The following species are highly flammable and should be avoided when planting within the first 50 feet adjacent to any structure. The plants listed below are more susceptible to burning, due to rough or peeling bark, production of large amounts of litter, vegetation that contains oils, resin, wax, or pitch, large amounts of dead material in the plant, or plantings with a high dead to live fuel ratio. Many of these species, if existing on the property and adequately maintained (pruning, thinning, irrigation, litter removal, and weeding), may remain as long as the potential for spreading a fire has been reduced or eliminated.

Botanical Name	Common Name
Abies species	Fir Trees
Acacia species	Acacia (trees, shrubs, groundcovers)
Adenostoma sparsifolium**	Red Shanks
Adenostoma fasciculatum**	Chamise
Agonis juniperina	Juniper Myrtle
Araucaria species	Monkey Puzzle, Norfolk Island Pine
Artemesia californica**	California Sage Brush
Bambusa species	Bamboo
Cedrus species	Cedar
Chamaecyparis species	False Cypress
Coprosma pumila	Prostrate Coprosma
Cryptomeria japonica	Japanese Cryptomeria
Cupressocyparis leylandii	Leylandii Cypress
Cupressus forbesii**	Tecate Cypress
Cupressus glabra	Arizona Cypress
Cupressus sempervirens	Italian Cypress
Dodonea viscosa	Hopseed Bush
Eriogonum fasciculatum**	Common Buckwheat
Heterotheca grandiflora**	Telegraph Plant
Juniperus species	Junipers
Larix species	Larch
Lonicera japonica	Japanese Honeysuckle
Miscanthus species	Eulalia Grass
Muehlenbergia species**	Deer Grass

LANDSCAPE CHARACTER

NON-ALLOWABLE LIST FOR FIRE REASONS (Continued)

Botanical Name	Common Name
Palmae species	Palms – SEE APPROVED LIST
Picea species	Spruce
Pickeringia Montana**	Chaparral Pea
Pinus species	Pines
Podocarpus species	Fern Pine
Pseudotsuga menziesii	Douglas Fir
Rosmarinus species	Rosemary
Salvia mellifera**	Black Sage
Taxodium species	Cypress
Taxus species	Yew
Thuja species	Arborvitae
Tsuga species	Hemlock
Urtica urens**	Burning Nettle

NOT ALLOWED AS INVASIVE TO WILDLAND URBAN INTERFACE (WUI)

OUR NEIGHBORHOOD IS LOCATED IN WUI

The following species are considered invasive noxious weeds that have been introduced to San Diego County over the years tend to be more widespread and therefore more difficult to contain. The plants listed below have been identified as invasive and/or as noxious weeds and should not be planted or allowed to sprout in any transitional landscapes (landscapes planted with non-native species next to undeveloped areas).

Botanical Name	Common Name
Ailanthus altissima	Tree of Heaven
Anthemis cotula***	Mayweed, Stinking Chamomile
Arctotheca calendola	Cape Weed
Arundo donax	Giant Cane
Atriplex semibaccata	Australian Saltbush
Brassica species***	Mustard
Cardaria draba***	Hoary Cress, Perennial Peppergrass
Carpobrotus edulis	Ice Plant – SEE APPROVED LIST
Centaurea solstitialis	Yellow Starthistle

NOT ALLOWED AS INVASIVE TO WILDLAND URBAN INTERFACE (WUI) (Continued)

Botanical Name	Common Name
Cirsium vulgare***	Wild Artichoke
Conium maculatum	Poison Hemlock
Conyza Canadensis***	Horseweed
Cortaderia selloana	Pampas Grass
Cotoneaster lacteus	Cotoneaster
Cupressus macrocarpa	Monterey Cypress
Cynara cardunculus***	Artichoke Thistle
Cytisus species	Scotch Broom, French Broom, etc
Elaeagnus angustifolia	Russian Olive
Gensita species***	Broom
Hedera helix	English Ivy
Hypericum perforatum	St. John's Wort
Ilex aquifolium	English Holly
Lactuca serriola***	Prickly Lettuce
Lepidium latifolium	Perennial Pepperweed
Myoporum parvifolium	Trailing Myoporum
Nerium oleander	Oleander
Nicotiana species	Tree Tobacco
Olea europaea	Olive – SEE APPROVED LIST
Pennisetum setaceum	Fountain Grass
Ricinus communis	Castor Bean
Robinia pseudoacacia	Black Locust
Salsola australis***	Russian Thistle, Tumbleweed
Schinus molle	California Pepper
Schinus terebinthifolius	Brazilian Pepper
Silybum marianum***	Milk Thistle
Spartium junceum	Spanish Broom

NOT ALLOWED TO BE PLANTED FOR ANY REASON

All species of Eucalyptus

All species of Gum Trees

All sprouts from the invasive nature of this tree, **MUST** be removed

6. GENERAL REGULATIONS

Rules and regulations for the benefit of all residents of the project

The Environmental Control Committee (ECC) has established certain construction and safety regulations that will apply to all builders, contractors and service personnel entering the Rimrock project. These rules are intended to ensure safe, neat and orderly activities for the construction and maintenance of residences with a minimum of disturbance to the community. Each construction vehicle will be controlled via prior authorization and issuance of a current construction pass subject to reasonable regulation by the ECC responding to circumstances from time to times affecting the residents' enjoyment of the project. The construction pass must be prominently displayed on the dashboard of the appropriate vehicle.

Each lot under construction must have a current Contractor Entry Authorization Form (CEA) on file at the Security Center. These forms are further described in Section 8.

The CEA shall be completed by the contractor in charge of the job. This form shall include telephone numbers to reach the contractor or his office and the names of all subcontractors working on the

project. CEA forms are to be updated every ninety (90) days.

Construction passes will be issued by subcontractor's name, vehicle description and other vital information. The lot number for which the pass is issued shall be written on the pass.

All construction vehicles shall use the main Rimrock entry gate on Welk View Drive and shall not enter and exit the project at the Meadow Glen Way West gate.

ENTRY INTO RIMROCK

All contractors, subcontractors and workers are required to have valid drivers' licenses and auto insurance. Driving admittance will not be given without these items.

The speed limit in Rimrock is 20 mph for all vehicles in all areas. Failure to observe the speed limit may result in denial of driving privileges in Rimrock as determined by the Homeowners' Association.

Contractors and subcontractors are permitted on Rimrock between the hours of 7 a.m. and 6:00 p.m., Monday through Friday. Access on Saturdays shall be between the hours of 8 a.m. and 4 p.m.

No construction activity other than emergency repairs is permitted on Sunday, legal holidays or during unapproved work hours. Violations may result in the stoppage of work, or in severe cases, revoking the contractor-employee entry access authorization.

No vehicles (trucks, vans, cars, etc.) may be left in the subdivision over night without authorization. Construction equipment (not vehicles) may be left on the lot with prior authorization at the owner's risk.

Contractors, subcontractors and service persons are not permitted to bring dogs or pets of any kind into the project.

Service and delivery trucks must be signed in and out. Rimrock reserves the right of inspection of all vehicles arriving and leaving the property.

RIMROCK DESIGN GUIDELINES

Parties who do not agree to the inspection may be denied access to Rimrock in the future.

RIGHT OF ENTRY TO ADJACENT PROPERTY

When construction work or any other circumstances (excluding emergencies) requires entering upon adjoining property for any purpose, prior written permission shall be obtained from the adjoining property owner for "Right of Entry."

A copy of the letter granting permission shall be filed with the ECC prior to commencement of construction where such entry is anticipated.

CONSTRUCTION TRAILERS, PORTABLE FIELD OFFICES, ETC.

Any owner or contractor who desires to bring a construction trailer, field office or the like on a lot in Rimrock shall first obtain written approval from the ECC who will work closely with the owner or contractor to determine the duration and reasonable controls on the use of the same. Such temporary structures shall be located only in approved locations and shall be removed upon completion of construction.

SANITARY FACILITIES

Each owner and contractor shall be responsible for providing sanitary facilities for all construction workers. Portable toilets or similar temporary toilet facilities shall be located on the construction site and at a minimum over 10' from the curb.

PARKING AREAS

Construction crews will not park on or otherwise use other lots or the open space. Private and construction vehicles and machinery will be parked only on the construction site or adjacent streets. The preferred location for all parking is on the actual lot or driveway.

RIMROCK DESIGN GUIDELINES

STORAGE OF MATERIALS AND EQUIPMENT

Owners and contractors are permitted to store construction materials and equipment on the construction site during the construction period at their risk. It shall be neatly stacked, properly covered and secured. Storage of material or equipment on other than the approved construction site may only be done only with the approval of the ECC. Rimrock is not responsible for lost or stolen materials or equipment.

RESTORATION OR REPAIR OF OTHER PROPERTY DAMAGED

Damage occasioned to property, including but not limited to other lots, open space, roads, driveways and other improvements, will be repaired promptly at the expense of the owner and contractor responsible for same.

During construction, owner and contractor shall maintain the construction site and repair all property which was damaged, including but not limited to restoring grades, planting grass and trees and any items approved by the ECC, and the repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting, fences, etc.

Operators of vehicles are responsible for spills and other damaging materials while in **Rimrock**; if spillage occurs, operators

are responsible for cleaning up. Clean-up work that is not adequate may be corrected by **Rimrock** personnel or agents and billed to the responsible party. Spills must be reported as soon as possible. Concrete delivery trucks must be washed out on the construction site. Washing of any truck on the streets or other areas is strictly forbidden.

Before trenching, check location of underground utilities. If any telephone, cable TV, electrical, water, etc. line is severed or damaged, it shall be reported immediately.

NOISE LEVELS

Loud radios or unnecessary noise will not be allowed within the project. Normal radio levels are acceptable. Speakers on vehicles or outside of homes under construction are prohibited.

DEBRIS AND TRASH REMOVAL

During the construction period, each construction site shall be kept neat and shall be properly policed. Owner and contractors shall clean up all trash and debris on the construction site at the end of each day.

A trash container shall be located on each building site at all times for containment of all trash materials.

Trash and debris shall be removed from each construction site as necessary but no less frequently than once a week, to a dumping site located off the project. Owners and contractors are prohibited from dumping, burying or otherwise disposing of debris on the property.

Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces and driveways.

CHANGES DURING CONSTRUCTION

Changes during construction affecting the finished grade of the site, exterior appearance of any structure or landscaping require approval of the ECC prior to effecting the change. Such changes may necessitate submittal and approval of revised drawings; this requirement will depend on the complexity of the change and is at the discretion of the ECC.

INSPECTION

Upon completion of the work as indicated on the drawings and specifications approved by the ECC, the owner shall notify the ECC in writing for final inspections. The ECC will inspect the property and notify the owner within ten (10) days following the next regularly scheduled meeting of the ECC indicating its acceptance or noting deficiencies requiring corrective action.

Periodic inspections during construction may be made by the ECC. Deficiencies

requiring corrective action will be communicated to the owner who shall remedy same.

ECC reserves the right to cure all deficiencies and assess property owners the costs of curing such deficiencies should the contractor or property owners not comply.

ADDITIONS OR ALTERATIONS

Any additions or alterations after completion affecting the finished grade of the site, exterior appearance of any structure or landscaping will require approval of the ECC.

The ECC should be contacted prior to any changes in approved plans. A formal request for change must be made using Improvement Submittal Form with Resubmittal circled.

CONSTRUCTION TIME PERIOD

Work must be commenced within three months of the date of ECC approval of the working drawings; if not, approval will be considered void and a new submittal and fee will be required. All building construction and lot grading work must be completed within two years of work commencement.

7. PROCEDURES

The Sequence of Required Steps to Prepare Plans Submittals

PLANNING AND APPROVAL STAGES

Any individual or contractor building a residence in **Rimrock** will be required to obtain approvals according to the procedures outlined in this section. Failure to obtain the required approvals may result in unnecessary delays and additional costs if the plans are not acceptable.

The steps for approval are:

- 1. FREE PREDESIGN REVIEW OR FREE PRELIMINARY DESIGN REVIEW NO IMPROVEMENT SUBMITTAL FORM REQUIRED - OPTIONAL**
- 2. FINAL DESIGN - IMPROVEMENT SUBMITTAL FORM & FEE REQUIRED.**
- 3. COMPLETION - REQUEST FOR FINAL APPROVAL FORM REQUIRED**
- 4. IF MODIFICATION NEEDED - IMPROVEMENT SUBMITTAL FORM AND FEE REQUIRED**

In addition, any modifications or remodeling efforts also require approval of the ECC

The flow chart is a guide to the necessary steps to build a residence at Rimrock. Any deviation from these procedures could cause unnecessary delays or additional costs if approvals are not obtained prior to

obtaining County permits for construction and occupancy.

SUBMISSION SCHEDULES

The Environmental Control Committee (ECC) will meet as necessary.

TIMING FOR SUBMITTALS

In order for submittals to be reviewed by the ECC at their regularly scheduled meetings, a complete package of drawings as described on the following pages must be received seven days in advance of such meetings. Please refer to the Rimrock HOA CC&R's, Article V.

When a new project is submitted to the Environmental Control Committee (ECC) the following actions will be required prior to obtaining County permits for construction and occupancy regarding contiguous Rimrock lot owners: 1) Within 7 calendar days of a new project being received by the ECC, management will be instructed to send a notification letter to all Rimrock lot owners that are contiguous to the proposed project notifying them of the nature of the project and who is proposing it. 2) Contiguous lot owners will be encouraged to come to ECC meetings if they want to review and have input on the project. It will be the responsibility of the contiguous lot owner to coordinate with

Management to see when the project is up for discussion on the agenda. The ECC will seek input from the contiguous lot owners if they are present at the ECC meetings where the project is discussed.

Included at the end of this section are the forms to be used in submitting the requests for approval from the ECC.

RESUBMITTALS

All resubmittals to the ECC will require a Resubmittal Form and a processing fee and will be subject to the same timing as noted above.

PRE-DESIGN CONFERENCE (OPTIONAL)

This meeting for any submission, building, alteration, or landscape, is at no charge to the owner. The purpose of this first meeting is to ensure that there is a clear understanding to the spirit and intent of

the Project, the Design Guidelines and the Summary Lot Diagram provided each owner.

TYPICAL FLOW THROUGH THE ECC

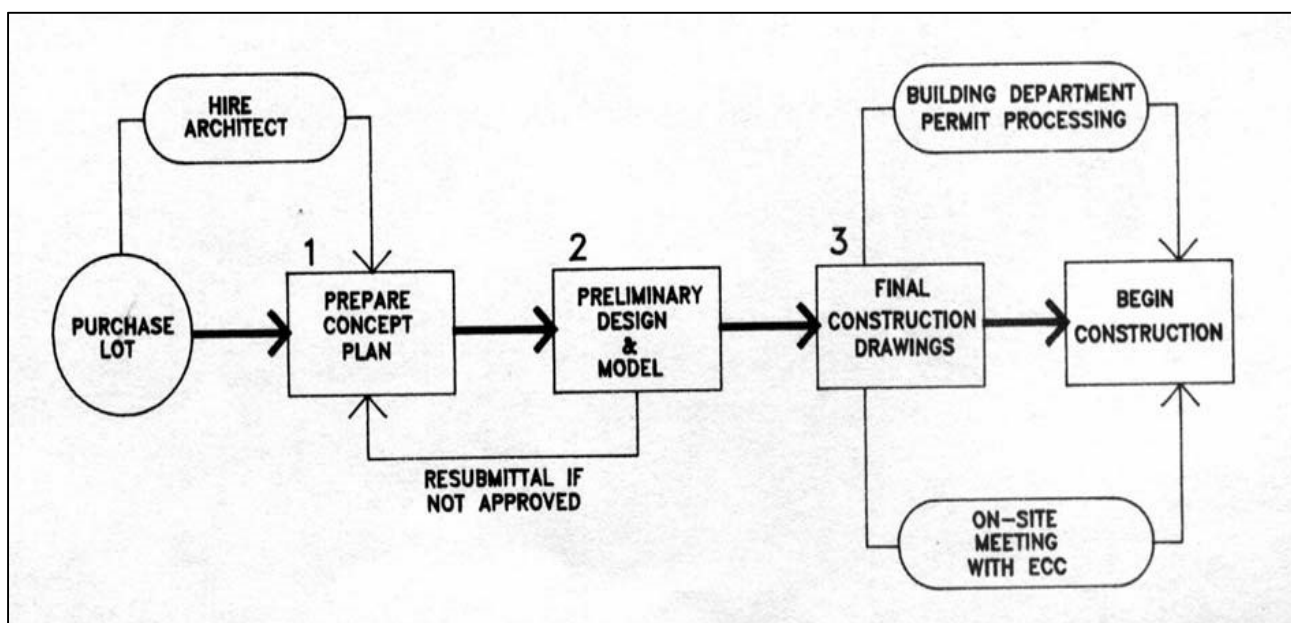
Note on site meeting **PRE CON** is required before construction can begin.

PRELIMINARY DESIGN APPROVAL

OPTIONAL

The second submittal is for preliminary design review by the ECC of the specific footprint and design style to ensure that the concept, scale and massing is acceptable prior to starting construction documents.

It is important that this submission be complete and well thought out. Any major deviation from this approval in the final construction documents may require a resubmittal.



RIMROCK DESIGN GUIDELINES

For this review the following should be submitted:

1. Improvement submittal form
2. Preliminary site plan and grading plan, access and grades, property lines, north arrow, lot number, existing vegetation and rock formations, etc.
3. Preliminary floor plan of all levels, including garage, indicating room size and intended uses.
4. Preliminary elevations at 1/4" = 1' of all sides of the proposed structure including roof pitches, heights of structures, chimneys, etc.
5. Cross sections of the site to explain all levels and the way the buildings fit with the topography
6. Colored rendering of front elevation.
7. Landscape concept drawings at the minimum of 1"=20'-0".
8. Sewer, water, electrical, propane, telephone and TV, as well as the step sewer tank, must be located on the plot plan at this time.

FINAL APPROVAL: BUILDINGS,

STRUCTURES AND LANDSCAPE

OCCUPANCY

Final approval must be obtained before any construction or grading begins.

Any owner or contractor commencing construction without written preliminary or final approval will be ordered to "Stop Construction."

For this review submit the following documents:

1. Three full sets of final construction drawings at 1/4" = 1' with all elevations and details.
2. Site Plan at scale which should indicate exact location of all structures, walls, driveways, auxiliary buildings, pools and full technical package specifications.
3. Detailed Sheet Specifications.
4. Color pallet of all exterior colors and materials on structure(s).
5. Final Landscape and Drainage Plan at an appropriate scale. Refer to page 5-1 for specifics related to the requirements for a complete landscaping plan submittal.

OCCUPANCY

Before the house may be occupied and after receipt of Final Inspection from the County of San Diego Building Inspection Department, the completed residence and landscaping must be approved by the ECC and a written final approval for occupancy granted. The ECC will require copies of all permits, for:

1. Grading
2. Construction - County of San Diego
3. Walls and Fences - County of San Diego
4. Sewer Connection - VCMWD

This requirement is for each individual owner's protection as well as a protection for the entire Association.

PLAN APPROVAL

Plans that are submitted to the ECC for review will either be approved or disapproved. There will not be any partial approvals allowed. Any owner or contractor commencing any work without prior written approvals by the ECC will not be allowed to have their subcontractors or workers enter **Rimrock** until compliance is made.

CHANGES AND/OR REMODELING

Once final approval has been given **ALL** changes or modifications must be listed on a resubmittal form to be approved by the ECC to ensure that additional costs are not incurred because of ECC disapproval. If there is a change on a submitted plan, (roof tile, color, structural, landscape, etc.) that is not listed on the **Resubmittal Form** the change will NOT be considered as a submission to the ECC. All changes must be to scale and specifications shown on plans. If you have more than one change, a **separate Resubmittal Form** for each change **is required**. No approval can be given or should be perceived as given that is not accompanied by a **Resubmittal Form and any required fee**.

APPEAL OF DENIAL

All decisions of the ECC Committee are subject to review by the Board of Directors and may be appealed to the Board. The committee shall notify the Board of all

violations of this Article and of any noncompliance with its rulings or with plans and specifications submitted to and approved by it. Thereafter, the Board shall take any actions it deems necessary in accordance with the provisions of this Declaration CCR – Article 5 – Section 5

TIMEFRAMES FOR NEW CONSTRUCTION

Owner must have all grading and construction completed and final project ECC approved. If the project does not receive ECC final approval within two years, the project will be referred to the Rimrock Board for enforcement.

INSPECTION

Periodic inspections may be made by the ECC during construction. Deficiencies requiring corrective action will be communicated to the builder and owner and reviewed by the ECC for possible action if the deficiencies are not remedied.

NOTICE:

Plans cannot be reviewed until specified fees are paid. The fees are specified in Section 8 of the guidelines.

Improvement Submittal Form

This form must be completed, signed, and attached to all 3 copies of the homeowner's drawings for any change or addition proposed to the exterior of any property in Rimrock

Note: No application will be reviewed or accepted if this form is not fully completed and signed, and the required deposit fees paid. All checks are made payable to: RIMROCK HOA

Name of Applicant (<i>Must be the Property Owner</i>) _____	
Address _____	
Project Address (<i>if different from above</i>) _____	
Home Phone Number _____	Cell Phone Number _____
Name of Agent _____ Agent's Phone Number _____	
Agent is our: <input type="checkbox"/> Architect <input type="checkbox"/> Builder <input type="checkbox"/> Other _____	

What stage of development is your project at? Please check the appropriate box:

- ☐ **New Submittal**
This requires all of the information outlined in the appropriate section along with the required fee
- ☐ **Re-Submittal**
This requires all of the additional or revised information that the ECC requested based on previous submittals
- ☐ **Request For a Pre-Design Conference**
This meeting is only necessary if you are NOT sure of the drawings and supporting documentation that you will be required to provide for your specific improvement project

Please complete the appropriate section(s) that applies to your improvement project:

<input type="checkbox"/> New Residence on Vacant Lot Square Feet _____ Number of Stories _____ Garage Size(number of vehicles) _____ Style of Home (see Rimrock Design Guidelines for Acceptable Styles) _____ Final Application Must Include The Following: <input type="checkbox"/> 3 Sets of Complete Architectural Drawings With Site Plan and Grading Plan Attached Note: <i>These must be the same Plans submitted to the County for Permits</i> <i>Must provide copies of all County Building and Grading Permits before Construction Begins</i> <input type="checkbox"/> Color Rendering <input type="checkbox"/> Materials Board	Deposit Required \$1,700.00
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☐ **Remodel / Addition / Guest House** **Deposit Required \$ 1,200.00**
 Square Feet _____ Number of Stories _____
 Must Match Style of Existing Residence

Final Application Must Include The Following:

☐ 3 Sets of Complete Architectural Drawings With Site Plan and Grading Plan Attached

Note: *These must be the same Plans submitted to the County for Permits*

Must provide copies of all County Building and Grading Permits before Construction Begins

☐ Color Rendering

☐ Materials Board

☐ **Full Landscaping / Pool For New or Existing Residence** **Deposit Required \$ 600.00**

Final Application Must Include The Following:

☐ 3 Sets of Landscape Construction Drawings (see Rimrock Design Guidelines for Complete Requirements for Landscape Plans)

☐ No Pool ☐ Pool - *Must provide a copy of County Permit before construction begins*

☐ Materials and Color Board for Materials Not Already Used for the Residence

☐ **Partial Landscaping For Existing Residence** **Deposit Required \$ 50.00**

Adding or Changing Decks / Major Vegetation Changes / Major Hardscape Changes or Moving Dirt Greater Than 200 Cubic Yards

Final Application Must Include The Following:

☐ 3 Sets of Landscape Drawings Outlining the Proposed Changes

☐ Materials and Color Samples for Materials Not Already Used for the Residence

☐ **Minor Improvements To Existing Residence** **Deposit Required \$ 50.00**

Adding or Changing Patio Covers / Masonry Walls / Monuments / Fences / Gates / Ext Paint / Solar / Roofing

Final Application Must Include The Following:

☐ 3 Sets of Information Outlining the Proposed Changes

☐ Materials and Color Samples for Materials Not Already Used for the Residence

I (we) certify that I (we) have read and agree to abide by the entire 04.2022 Rimrock Rules and Regulations and the Rimrock Design Guidelines and any updates and hereby confirm that the plans that have been submitted for this application, once approved, are the plans and materials that will be used to construct the improvements. I (we) also ensure that my contractor(s) is (are) aware of the Rules and Regulations and the allowable hours and days that work is allowed. I (we) agree to pay all fines or fees for non-compliance and pay for any damage caused to the community.

Applicant's Signature

End Of Document

Date

Environmental Control Committee (ECC)
Request For Final Approval

This form must be completed and signed after full completion of the improvement to request a final inspection and the return of the owner's security deposit.

Name of Applicant <i>(Must be the Property Owner)</i> _____	
Address _____	
Project Address <i>(if different from above)</i> _____	

Home Phone Number _____	Cell Phone Number _____
Name of Agent _____ Agent's Phone Number _____	
Agent is our: <input type="checkbox"/> Architect <input type="checkbox"/> Builder <input type="checkbox"/> Other _____	

I (we) certify that our project is 100% complete, and if the Environmental Control Committee approves the project with "Conditions Of Approval", I (we) agree to have these issues corrected within 30 days of the Approval Notice.

Applicant's Signature

Date

This Section For ECC Use Only

This project has been inspected by the ECC, and the following recommendation has been reached:	
<input type="checkbox"/> Approved	Balance of the security deposit to be returned to the Applicant
<input type="checkbox"/> Conditional Approval	Balance of the security deposit to be returned to the Applicant
<i>Conditions of Approval to be corrected within 30 days:</i>	

<input type="checkbox"/> Project Incomplete or Not Completed Per The Approved Plans	
Re-Submit This Form for Final Approval when <u>ALL</u> of the Required Issues are Addressed	
<i>Comments (Issues to be Addressed):</i>	

Deposit Returned _____ **Deposit Held** _____ **Date** _____

Addendum to Improvement Submittal Form for New Home Construction

**CHECKLIST FOR NEW HOME CONSTRUCTION
ITEMS REQUIRED FOR COMPLETE SUBMISSION**

SALES LOT NUMBER/SITE	_____
OWNER	_____
DATE	_____

<input type="checkbox"/> LICENSED ARCHITECT <input type="checkbox"/> TECHNICAL PACKAGE OVERLAY <input type="checkbox"/> SET BACKS <input type="checkbox"/> PAD ELEVATIONS <input type="checkbox"/> CUT / FILL REQUIREMENTS <input type="checkbox"/> RETAINING WALLS <u>STRUCTURE STYLE</u> <input type="checkbox"/> RIMROCK <input type="checkbox"/> CA RANCH / HACIENDA <input type="checkbox"/> SPANISH / MED <input type="checkbox"/> COLOR BOARD <input type="checkbox"/> COLOR RENDERING <input type="checkbox"/> SQUARE FEET OF STRUCTURE <u>WINDOWS</u> <input type="checkbox"/> INSET <input type="checkbox"/> COLOR <u>DOORS</u> <input type="checkbox"/> INSET <input type="checkbox"/> COLOR <u>CHIMNEYS</u> <input type="checkbox"/> CAPS THAT BLEND WITH THE STYLE <input type="checkbox"/> COLOR <input type="checkbox"/> MATERIAL <u>ROOF MATERIAL</u> <input type="checkbox"/> TYPE <input type="checkbox"/> COLOR <input type="checkbox"/> STYLE <u>ROOF VENTS</u> <input type="checkbox"/> STYLE – CONCEALED ROOF TILE REQUIRED	<u>GARAGE DOORS</u> <input type="checkbox"/> INSET <input type="checkbox"/> COLOR <u>RAIN GUTTER APPLICATIONS</u> <input type="checkbox"/> COLOR <input type="checkbox"/> STYLE <input type="checkbox"/> TIE IN WITH DRAINAGE <u>DRIVEWAY</u> <input type="checkbox"/> BLENDS WITH EXISTING EARTH COLORS <input type="checkbox"/> 5 FT. ASPHALT APRON <input type="checkbox"/> STONE CURB EXTENTION WITH APRON <input type="checkbox"/> ADDRESS NUMBERS <input type="radio"/> STYLE <input type="radio"/> LOCATION <u>ADDENDUM TO LANDSCAPE AND HARDSCAPE PLANS</u> <u>PROPANE TANK</u> <input type="checkbox"/> LOCATION <input type="checkbox"/> COLOR <input type="checkbox"/> COVERAGE / SHIELDING <u>AIR CONDITIONING / HEAT PUMP UNITS</u> <input type="checkbox"/> LOCATION <input type="checkbox"/> COVERAGE / SHIELDING <u>WALLS / FENCING</u> <input type="checkbox"/> STYLE <input type="checkbox"/> COLOR <input type="checkbox"/> HEIGHT	<u>PATIOS</u> <input type="checkbox"/> LOCATION <input type="checkbox"/> VISIBLE FROM STREET <input type="checkbox"/> COVERAGE <input type="checkbox"/> COLOR <input type="checkbox"/> MATERIAL <u>WALKWAYS</u> <input type="checkbox"/> COLOR <input type="checkbox"/> MATERIAL <u>PLANTS – APPROVED LIST ONLY</u> <input type="checkbox"/> SIZE <input type="checkbox"/> LOCATION <input type="checkbox"/> DROUGHT RESISTANT <u>IRRIGATION</u> <input type="checkbox"/> CORRELATES WITH THE PLANTINGS AND LOCATION <input type="checkbox"/> RUNOFF <u>DRAINAGE</u> <input type="checkbox"/> LOCATION <input type="checkbox"/> TIE IN WITH GUTTERS AND IRRIGATION <u>STEP SEWER SYSTEM</u> <input type="checkbox"/> LOCATION <input type="checkbox"/> PLANT COVERAGE IF APPLICABLE <u>SDGE TRANSFORMER</u> <input type="checkbox"/> LOCATION
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8. CONTRACTOR RULES AND REGULATIONS

The Rules to be followed by owners and their contractors during construction at Rimrock.

CONSTRUCTION REGULATIONS

Construction Regulations must be read and agreed upon before any construction commences. Owner, Owner Builder and General Contractor (if used) must sign the Agreement. A meeting with the Owner and General Contractor is required BEFORE commencement of construction.

VIOLATIONS

Owners are responsible for all contractors, subcontractors and workers. Violations of the Contractor's Rules and Regulations, **Rimrock** Design Guidelines, **Rimrock** CC&Rs or deviations from the Environmental Control Committee approved plans may result in any or all of the following:
An order to stop construction.

1. Denial of access to **Rimrock** for all contractors, subcontractors and workers.
2. Retention of a portion or all of the construction deposit. Any deposits retained by the Association may be in conjunction with a stop construction order until such deposits are replenished to the original amount.

3. Corrective action may be taken directly by the Association if requests to correct violations are not completed by the contractor or owner. For example, signs in violation of the accepted specifications may be removed by the Association if not removed by the owner or contractor.
4. Fines may be imposed and, if not paid, such fine amounts will be retained from the deposit amount. Construction stop orders may be in effect until any deposit amounts are replenished to the original amount.

CONFORMITY TO APPROVED PLANS

All construction must be completed in accordance with ECC approved plans. ANY CHANGES to these plans must be approved by the ECC. Failure to do so may result in retention of your deposit. Once final approval has been given, ALL changes must be listed on an IMPROVEMENT SUBMITTAL FORM, marked RESUBMITTAL
If there is a change on a submitted plan, (roof tile, color, structural, landscape, etc.) that is not listed on the FORM, that change will NOT be considered as a submission to the ECC.

RIMROCK DESIGN GUIDELINES

If you have more than one change, a separate FORM for each change is recommended. No approval can be given nor should be perceived given that is not accompanied by a RESUBMITAL FORM..

IDENTIFICATION

Each lot under construction must have the general contractor or homeowner sign a Contractor Entry Authorization form for all contractors to be kept on file at the Main Entry on Welk View Drive.

ACCESS TO RIMROCK

All construction vehicles and personnel must enter and exit only through the Main Entry on Welk View Drive.

All contractors, subcontractors and their workers or employees, are required to have a valid driver's license and vehicle insurance. Those not having both of these items will not be allowed driving access to RIMROCK. All vehicles must display on the dashboard a current Security Authorization pass good for ninety (90) days and limited to only the lot under construction. Transmitters and codes are solely for the use of lot owners. Unauthorized use of transmitters or codes by non-lot owners may result in confiscation of transmitters and/or a substantial fine.

WORK HOURS

Monday-Friday 7:00a.m. to 6:00p.m.
Saturday 8:00a.m. to 4:00p.m.
Sunday/Legal Holiday NO
CONSTRUCTION OR ACCESS ALLOWED

Legal holidays shall be defined as:
New Years Day, Memorial Day, The 4th of July, Labor Day, Thanksgiving Day, and Christmas Day. Including the day they are observed.

CONSTRUCTION AFFILIATES

Construction affiliates must be authorized in advance by the contractor giving the Association the name and appropriate lot number. All dirt moving vehicles, cement trucks, and all multi-axle trucks should get prior authorization before entering the property.

EROSION CONTROL

A method of erosion control on construction sites must be presented before construction commences.

All siltation runoff must be kept off streets, adjoining properties and (most importantly) around storm drains.

All sites requiring cut or fill applications will have greater erosion control requirements.

Use of fabric, sandbags, initial drainage systems and/or planting of banks will be required.

The type and degree of erosion control will depend on lot location, time of year and grading submitted.

CONTRACTOR RULES AND REGULATIONS

Contractors will be responsible for any damage sustained due to a lack of, or failure to control erosion from construction sites.

All denuded slopes should be planted within ninety (90) days.

TRASH AND DEBRIS

All trash and debris must be confined to the construction lot and placed in a trash bin or container on the lot. All rubbish and trash shall be regularly removed from each lot and shall not be allowed to accumulate.

STREETS

Contractors are responsible for clean-up of roadways on a daily basis. Soil must be kept off streets by use of sandbags or whatever other means available. Soil build-up on streets must be shoveled back on to the site daily. THIS RULE WILL BE STRICTLY ENFORCED. ANY LOT NOT CONFORMING TO THIS REQUIREMENT MAY BE ASSESSED A FINE.

BUILDING SITE

All construction material, trailers, toilets, equipment and construction signage must be at least ten (10) feet back from the curb. Driveways should be installed and completed as soon as possible and used for primary parking. Vehicles should not be driven on lots when soil is wet so as to prevent tracking mud onto the streets.

CURBS/STREETS

Contractors are responsible for damage caused to curbs. Homeowner's construction deposit will be refunded only if curbs are found to be in the same condition as was existing prior to commencement of construction.

PARKING

No overnight parking shall be permitted on any portion of the private streets. Guards, if utilized, must park on the lot and the Association must be notified prior to their presence.

STORAGE VEHICLES

Vehicles and equipment which are currently involved in the construction process may be kept overnight on the construction site. Use of adjoining lots for storage is not allowed without written permission from lot owner.

SIGNS

During construction, there shall be only one (1) job identification sign no larger than 18 x 24 inches. (Article IV, Section 6). Signage shall be removed after construction has been completed.

PETS

No pets of any kind will be permitted to come into **Rimrock**.

RIMROCK DESIGN GUIDELINES

SPEEDING

The speed limit is 20 mph except where posted.

NOISE

Boom boxes, loud radios or other loud noises will not be tolerated.

INSPECTIONS

Contractors are responsible for calling the Property Manager (see page 1-2 for contact information) for the following inspections:

Rough Grade - Call for inspection when your finished pad is completed and chalk lines are down. At this time, setbacks and grades will be verified. Verification of pad elevation is to be provided by pad certification, signed and wet stamped by the engineer of record. Foundation work cannot continue without this verification.

Framing Inspection - A rough framing inspection should be performed prior to any exterior finishes being applied to the structure. At this time landscaping plans should be submitted and approved.

Final Inspection - At this time, the following will be verified: elevations, landscape, and curbs.

Drainage - Final grade.

FINE PROCEDURES

1. If a violation occurs, a fine may be imposed. A stop work order maybe issued if deemed necessary.
2. The owner will be notified of such fines and will be given an opportunity to attend a meeting and show just cause why the fine should not be assessed.
3. Additionally, access to **Rimrock** may be revoked. Refer to POLICY ON ACCESS ADDEMDUM 5

FINE SCHEDULE

MINOR VIOLATIONS include, but are not limited to:

Signage violations, parking issues, violations pertaining to materials, equipment, toilets or construction trailers placed within ten (10) feet of right of way.

The minimum fine for Minor Violations will be \$50/day.

MEDIUM VIOLATIONS include, but are not limited to:

Dirty streets, trash not being placed in dumpster, illegal dumping on other lots, work during non- approved hours and unauthorized gate transmitter usage.

The minimum fine for Medium Violations will be \$100/day.

CONTRACTOR RULES AND REGULATIONS

MAJOR VIOLATIONS include, but are not limited to:

Commencement of construction or installation without written approval.
The fine for Major Violations will be \$2,000/day.

NOTE: Any violations—minor or major—may result in revocation of access to **Rimrock**. This action is subject to the sole discretion of the **Rimrock** Homeowners Association Board of Directors.

PROPERTY ACCESS

Any access to prepare, deliver or install any improvement must take place solely within the property owner's lot boundaries, preferably by way of the driveway and its prescribed apron to the street. This may be superseded only by written permission from the adjacent property owners, a copy of which must be submitted to the ECC upon delivery of the application to install and prior to any approval or work

The undersigned have read **ALL** the above and by execution hereby agree to the full terms and conditions set forth in the aforementioned.

OWNER:

CONTRACTOR:

(Signature)
DATE: _____
LOT#: _____
PHONE: _____

(Signature)
DATE: _____
PHONE: _____

RIMROCK DESIGN GUIDELINES

SCHEDULE OF FEES FOR RESUBMITTAL

- Structure under 500 square feet \$300.00
- Structure over 500 square feet \$500.00

ALL PLANS MUST BE SUBMITTED TO THE **RIMROCK** ENVIRONMENTAL CONTROL COMMITTEE FOR REVIEW AND APPROVAL. ANY CONSTRUCTION STARTED PRIOR TO WRITTEN APPROVAL IS SUBJECT TO A \$2,000 FORFEITURE.

The undersigned have read **ALL** of **Section 8: Pages 1 thru 9** and by execution hereby agree to the full terms and conditions set forth in the aforementioned.

OWNER:

CONTRACTOR:

(Signature)

(Signature)

DATE: _____

DATE: _____

LOT#: _____

PHONE: _____

PHONE: _____

GENERAL CONSTRUCTION RULES & REGULATIONS

1. Construction Hours: 7:00 am to 6:00 pm Monday through Friday and from 8:00 am to 4:00 pm on Saturday. Contractors, Sub-Contractors, Laborers and Landscapers will not be permitted on the Rimrock Estates Homeowners Association property on Sundays or designated Holidays. (Holidays are defined as New Year's Day, Memorial Day, 4th of July, Labor Day, Thanksgiving Day and Christmas Day)
2. Please observe the posted speed limits throughout the Rimrock Estates Homeowners Association Community. Violators of the posted speed limits, and or reckless driving will be reported to Security, who may request that the violators be banned from driving a motor vehicle on the Rimrock Estates property.
3. All Sub-Contractors, Crews, Laborers and Landscapers are to enter and exit the Rimrock Estates property at the Welk View Drive Entrance/Exit ONLY. If you have not been given a gate code for a pre-approved specific delivery, you are not to enter or exit through the Meadow Glen Way entrance / exit gates at any time.
4. A valid driver's license and proof of current auto insurance is mandatory while driving any motor vehicle on the Rimrock Estates HOA property.
5. The Meadow Glen Way exit gate, is not to be used as an entrance. Violators will be reported as trespassing immediately to the Sheriff's Department.
6. Semi Tractor-Trailers and Heavy Equipment are not to enter using the Welk View Drive entrance, you are to use the Meadow Glen Way West entrance only. Obtain the code from Management Company in advance. 24 to 48-hour advance notice is recommended.
7. All Contractors, Sub-Contractors, Laborers and Landscapers are to get logged in and out at the Gate House at 9420 Welk View Drive. Person(s) who are not properly logged in with Gate Attendants, may also be reported as a trespasser.
8. Foot traffic of any kind is not permitted on Welk View Drive nor any other gate leading into the Rimrock Estates Community, you must obtain consent from the Gate Attendants.
9. As a reminder to all Contractors, Sub-Contractors, Laborers, etc. that the Gate Attendants are a representative of the Rimrock Estates Homeowner's Association, and that you are a guest of the Association. Any uncooperative behavior, verbal abuse, or any threatening actions towards the Gate Attendants or any resident/owner will not be tolerated. Any violators will be reported to the Sheriff's Department to have you removed from the Rimrock Estates Property, and a request to the Homeowner's Association will be made

RIMROCK DESIGN GUIDELINES

to have such person(s) permanently banned from the Rimrock Estates HOA property.

10. You are not permitted to bring pets of any kind to any of the job sites.
11. Person(s) without a valid driver's license and proof of current auto insurance will not be admitted.
12. Boom boxes, loud radios or other loud noises will not be tolerated.
13. Please do not flip cigarettes out of your vehicle; please dispose of them properly.

14. Person(s) who do not have authorization will not be admitted. Make sure that the Contractor that you are working for has you on their authorization list at the Rimrock Estates Main Entry on Welk View Drive.

15. Parking is restricted to the lot you are working on and only one side of the street immediately adjacent to the lot. If construction is taking place on lots adjacent to, or across the street from each other, it is the responsibility of the contractors to work out and enforce a parking arrangement that only utilizes one side of the street. All street parking is restricted to the asphalt surface, no curb jumping allowed. No other parking, including on other lots is ever permitted.

CONTRACTOR RULES AND REGULATIONS

Rimrock Contractor and Vendor List Entry Authorization

A signed copy of the Contractor Rules and Regulations must be on file for each project

BUSINESS NAME:

<i>General Contractor</i>	Name Of Contact	Phone Number
<i>Sub-contractor</i>	Name Of Contact	Phone Number
<i>Sub-contractor</i>	Name Of Contact	Phone Number
<i>Sub-contractor</i>	Name Of Contact	Phone Number
<i>Sub-contractor</i>	Name Of Contact	Phone Number
<i>Sub-contractor</i>	Name Of Contact	Phone Number
<i>Architect</i>	Name Of Contact	Phone Number
<i>Additional Vendor/ Type</i>	Name Of Contact	Phone Number
<i>Additional Vendor/ Type</i>	Name Of Contact	Phone Number

Homeowner name		Homeowner Signature	
Lot #		Address	
Phone #		Email	

ADDENDUM 1 – AUXILIARY STRUCTURES

Definition:

Those structures which are detached from the main building/dwelling unit and function as a secondary use on the lot.

Types:

Maids Quarters/Building

Gazebos

Cabanas

Pool Equipment Structure/Housing

Detached Garages

Guest Houses/Quarters

Dog Houses

Green Houses

Outdoor Sports Courts and

Equipment Storage Units

Detached Restrooms

Gates or Entry Monuments

Security Equipment Housings

Criteria:

1. Must adhere to Rimrock building setbacks as outlined in the ECC Guidelines.
2. Must be compatible with the Architectural style/color or main building per the ECC Guidelines.
3. Variances of any kind will be granted on a case by case basis.
4. Any structure regardless of size, requiring electrical service will be

required to have a County or San Diego building permit.

5. Any structure in excess of 1,000 square feet (including overhangs) will be required to have a County or San Diego building permit.
6. The ECC at its sole discretion has the right to deny installation of any auxiliary structures.

GUEST LIVING QUARTERS

Living quarters, which have neither kitchen, wetbar nor laundry facilities, within an accessory building for the sole use of persons employed on the premises or for temporary use by guests of the occupants of premises may not be rented. The total floor area of a Guest Living Quarters shall not exceed 30% of the square footage of the primary dwelling, up to a maximum of 600 square feet. An Administrative Permit must be approved for guest living quarters up to 50% of the square footage of the primary dwelling.

CCR Article IV Covenants and Use Restrictions Sec. 22 Garages.

- c. No guest house may be constructed or maintained on a Lot unless an extra enclosed car space is provided on such Lot.

ADDENDUM 2 - ESTATE SITE SALES

DISCLOSURE INFORMATION Effective 4/1 /93

Project Information:

Rimrock Project falls within the jurisdiction of the County of San Diego. Following are the public/private agencies which handle this project:

Electrical:	Homeowner' s Choice
Propane/GAS:	Homeowner' s Choice
Telephone:	Homeowner' s Choice
Cable TV:	Orion Cablevision
Fire:	Deer Springs Fire District
Emergencies:	San Marcos Sheriff Department
Solid Waste:	Homeowner' s Choice
Grading, Building, Planning:	County of San Diego, Ruffin
School district:	K-12; Valley Center Unified School District

The-project is within the Palomar lighting District created for the California Institute of Technology's Hale Observatory at Palomar. The exterior lighting cannot exceed 100 watts (low sodium) nor can any lighting be aimed upwards. This is a County requirement

and Rimrock owners will be checked for this during and after construction.

Prior to any construction or addition, you must obtain approval of your plans by the Environmental Control Committee. This committee is appointed by the Homeowners Association and requires a review deposit.

The owner of property on the West side of Interstate 15 opposite this project and approximately one to two miles away is seeking approval with-the County of San Diego to operate a rock aggregate quarry. There is no way of knowing if this operation may come to fruition and, if so, what the exact nature and extent of the operation may be.

The San Diego County Board of Supervisors is currently conducting a North County land fill search. Among the areas recommended for further study is Site 9, Merriam Mountain South, located in the Merriam Mountains on Interstate 15 West of Rimrock. Additional environmental studies should continue for approximately two (2) years. There is no way of knowing if this operation may come to fruition and, if so, what

the exact nature and extent of the operation may be. Further information is available at the County of San Diego.

Building and Construction:

Lots in Rimrock may be subject to the following conditions and requirements imposed by the County of San Diego:

- 1 Site Plan
- 2 L-Grading Permit
- 3 Landscaping Plan

The subdivider provides lot owners with a TECHNICAL PACKAGE referencing the above and any other information pertinent to the development of the lot along with an Architectural Design Guideline Handbook to assist owners with the development of their lots. It is the buyer's responsibility to obtain the Site Plan information on file at the Department of Planning and Land Use, County of San Diego at Ruffin Road and, to comply with the rules and regulations imposed by the Rimrock

Site Plans:

Due to the sensitive terrain and rock outcroppings at Rimrock certain lots have an approved site plan which describes the building envelope and other restrictions imposed by the County. In order to obtain a building permit, the owner must comply and submit to the Department of Planning

and Land Use, a request for Site Plan compliance. A Landscape Plan for the proposed building by a registered Landscape Architect must also be submitted with the Site Plan. All lots with a Site Plan requirement are required to submit an L-Grading permit to the Department of Public Works prior to issuance of any Building Permit. Owners and builders can change the existing Site Plan on their lots as long as they file a new Site Plan with the County of San Diego and have it approved by the Department of Planning and Land Use. The subdivider does not guarantee any approvals to changes on these Site Plans by the County of San Diego.

Rimrock Environmental Control Committee operates under the strict rules of the CC&R' s and Homeowners Associations' Architectural Design Guidelines. In addition to obtaining a Site Plan approval, L-Grading approval and Landscape Plan approval from the County, the owner is required to obtain construction approval from the Environmental Control Committee. It is the responsibility of the owner to be familiar with the Environmental Control Committee Architectural Design Guidelines and the procedure to obtain construction approvals.

Construction traffic to Rimrock is limited from 7:00 a.m. to 5:30 p.m. Monday through Friday, Saturdays

from 8:00 a.m. to 3:30 p.m. only. Ingress and egress must be from the Main Entry on Welk View Drive.

Utilities:

The subdivider has provided water, sewer, electrical, telephone and TV cable stub-outs to each lot. The location of these stub-outs is delineated on the Technical Package.

Water:

Many lots in Rimrock Phases I and 11 have water meters installed and prepaid by the subdivider. This cost has to be refunded to the subdivider on purchase of a lot. It is the responsibility of the owner to have the ownership and registration changed to the new owner by contacting Valley Center Municipal Water District.

A "NOTICE OF LOW WATER PRESSURE" was recorded in the Office of the San Diego County Recorder on May 3, 1991 as File No. 91-0205807 which affects the following Lots in Tract 4652: Lot Nos. 4 through 7, 9, 10, 12 and 17. Another NOTICE OF LOW WATER PRESSURE was recorded in the Office of the San Diego County, recorded on August 7, 1991 as File No. 91-0397197 and affect the following lots in Tract 4652 and Tract 4605: Lot Nos. 1, 2, 3, 8, 19, 21, 22, 24, 25, 3, 7 and 168. Please be advised, the aforementioned low water pressure lot numbers are legal

lot numbers and not marketing lot numbers. It is the owner's responsibility to identify these lots as they relate to marketing lot numbers. The notices recite, in part, the following:

- Said property may experience water pressure below 25 psi on said property over the elevation of 1658 feet.
- Valley Center Municipal Water District will not assume any responsibility for problems due to this low pressure.

The subdivider advises that lots with low water pressure as noted above, may require a booster pump which would cost buyer approximately \$2,000 to \$3,000.

In addition, a TEMPORARY SERVICE AGREE-MENT WITH VALLEY CENTER MUNICIPAL . WATER DISTRICT FOR DELIVERY OF WATER BY VIRTUE OF A REMOTE METER was filed in the Office of San Diego County, recorded on January 15, 1992 as File No. 92-0022234. This document affects the following lots in Tract 4652: Legal Lot Nos. 5, 6, 7, 9, 36, 37 and 51.

Purchasers of lots as noted above are advised to obtain copies of all recorded documents and to make them available to their engineer to see what affect this may have on future building plans.

Electrical and Telephone:

Electrical and telephone stub-outs to each lot are provided by the subdivider. It is the owner's responsibility to contact San Diego Gas & Electric or ATT for electrical/telephone service. Depending on the individual electrical loads of proposed dwellings it may be necessary to install a transformer within the lot or within the common area.

Cable TV:

Cable TV stub-outs to each lot are provided by the subdivider. It is the owner's responsibility to contact Orion Cablevision Cable for cable service.

General:

In order to construct the Rimrock main roads some areas alongside the existing roads were used for rock burial and uncompacted fill. The Technical Package provided by the subdivider shows the areas affected by this fill. It is the owner's responsibility to have this fill identified and located prior to construction. Soils engineers are required by the County of San Diego and by the Rimrock Environmental Control Committee to submit a preliminary soils report prior to construction.

Owners should be aware of the fact that their lots will be given a street address when they apply for a building permit. This address is not be used, for

mailing purposes, they will be given their mailing address when they received their assigned mailbox by the Rimrock Homeowners Association.

ADDENDUM 3 - SIGNAGE POLICY

Definition:

Article IV, Section 6 of the Rimrock Covenants, Conditions and Restrictions, clearly defines the general standards for signage at the Rimrock Project. It is the intent of the Rimrock Homeowner's Association to restrict such signage which, in the view of the Board of Directors, is inconsistent with the exclusivity, character and ambiance of Rimrock. Therefore, the following guidelines are what constitute acceptable signage within the Rimrock Project for construction/ builder signage, lot identification signs, cautionary signs and for sale signs. The criteria for street addresses is outlined in Addendum #3a.

Types & Criteria:

1. Builder Signs and Construction Signs

- a. During the time of construction on any improvement, one job identification sign will be permitted.
- b. Dimensions not to exceed 18" in height x 24" in width, maximum total surface area of three (3) square feet.
- c. Constructed to present a "tasteful and dignified" appearance. The determination of what constitutes "tasteful and dignified" shall be at the sole discretion of the

Rimrock Environmental Control Committee.

2. For Sale/For Rent/Realtor Signs

- a. Standard size real estate sign on a single post is allowed for homes or lots that are listed for sale.
 - b. Hangman type signs are allowed.
- The typical real estate "for sale" or "open house" signs, utilized by most realtors, do comply with the Rimrock standards and are acceptable for use within Rimrock. Temporary or "bootleg" signs are not allowed on Rimrock property or on Welk View Drive. One sales brochure box is acceptable, and all riders, must be rectangular in shape. Flags will be permitted on the day of the open house, on the open house property only. These flags must be removed by the end of the open house day or, they will be removed by the Association.

3. Cautionary Signs

No Trespassing, Beware of Dog, Security Signs, and Armed Response signs are only allowed on lots of individual properties. Dimensions not to exceed 18" in height x 24" in width, maximum total surface area of three (3) square feet as allowed on other signage. The signage on the property must be approved by the Environmental Control Committee.

Guidelines:

1. Variances of any kind will be granted on a case by case basis.
2. The Rimrock Homeowners Association at its sole discretion has the right to deny installation of those signs deemed not in compliance with this Signage Policy as written.
3. It is the responsibility of the Rimrock Homeowners Association to strictly enforce this policy. Any signage found to be in violation of this policy is subject to removal from the property.

ADDENDUM 3A - STREET ADDRESS

Definition:

Article IV, Section 6 of the Rimrock Covenants, Conditions and Restrictions, clearly defines the general standards for signage at the Rimrock Project. It is the intent of the Rimrock Homeowner's Association to restrict such signage which, in the view of the Board of Directors, is inconsistent with the exclusivity, character and ambiance of Rimrock. Therefore, the following guidelines are what constitute the standard, minimum acceptable street address signage within the Rimrock Project.

A lot owner desiring to have street address installed must comply with the above guidelines.

Homeowners may elect to have additional street addresses installed as part of their entry monuments or gates.

This addendum applies to all homes built after December 3, 1993.

It is the responsibility of the Rimrock Home-owner's Association to strictly enforce this policy. Any signage found to be in violation of this policy is subject to removal from the property

Types & Criteria:

1. Street addresses are assigned by the County of San Diego, Building Department upon the issuance of a building permit. The fire department requires that the street addresses be easily identifiable from the main roads at Rimrock.
2. Due to the terrain and long private driveways it is recommended to have the address placed near the driveway at the curb.

Guidelines:

Variances of any kind will be granted on a case-by-case basis.

GUIDELINES FOR INSTALLATION OF GROUND-MOUNTED SOLAR DEVICES

State and County Requirements.

Solar projects in Rimrock are required to meet all county and state requirements.

Per the San Diego County Zoning Division, the following Site Special Designator guideline prevails.

"If the proposed solar panels are within a Planned Development area, HOA approval may be required before a building permit for the proposed solar panels can be issued." To comply with this, Rimrock approval will be required before a building permit is issued.

An additional condition, as required by Cal Fire, is that a brush-free area of 10 feet is to be provided around any and all components of a ground-mounted photovoltaic array.

Authority under Governing

Documents.

Article IV, Section 28 of the Association's CC&Rs states that "All solar system collector units shall be integrated into the design of the Dwelling in which each is installed and shall be subject to approval by the Environmental Control Committee." Article IV, Section 12 further requires approval of the ECC for improvements of any types, including exterior

additions or modifications. The ECC is further authorized to adopt Architectural Design Guidelines (Art. V). The Board has adopted these Guidelines in order to provide consistency with governmental requirements, and minimize disruption caused by ground-mounted solar devices.

Types of Devices.

The types of ground-mounted solar devices that are permitted in the Rimrock community are:

- (a) Photovoltaic (PV) panels/modules and
- (b) Integrated Photovoltaic Systems (IPS) (i.e., photovoltaic "shingles, tiles or siding" or "thin-film laminates").

Devices must, to the maximum extent possible, be painted black and have a non-reflective surface. Reflections from any solar energy device shall not shine onto any other property or otherwise create a nuisance.

Location, Setbacks and Brush**Clearance.**

Ground-mounted solar devices are not permitted anywhere in front of the home. In order to create the required 10-foot brush-free area, no property owner should enter or disturb an adjacent property owner's lot. Therefore in order to meet the requirement, any part of a ground-mounted photovoltaic array must be installed at least 10' from any of the property lines or inside the county setbacks, whichever is greater.

Furthermore, access to prepare, deliver or install that system must take place solely within the property owner's lot boundaries. This may be superseded only by written permission from the adjacent property owners, a copy of which must be submitted to the ECC upon delivery of the application to install.

Nuisance.

The Owner shall properly maintain such device to ensure that it does not dilapidate or create visual and/or aesthetic nuisance as determined by the ECC. Should the installed solar devices not be properly maintained resulting in visual and/or aesthetic nuisance, the Board reserves the right to remove the device, and/or to enforce any of its rights under the CC&Rs to ensure Owner compliance

that may include, but not be limited to, fines and/or litigation as referenced in the CC&Rs.

Submission Requirements.

The following items are required for a submittal to be reviewed by the ECC:

1. A plot plan showing the location of all panels and support items. If the solar structure is at or near the minimum 10' setback, lot line demarcation is required.
2. A cross section of the install showing the actual heights (not a range, except where terrain dictates)
3. Soil erosion and drainage mitigation if it will effect adjacent properties.
4. Screening and plant materials if needed
5. Contact information for the installation company

Factors for Consideration.

In addition to the above requirements, the ECC may consider the device's location in relation to surrounding structures and topography, and whether the device would constitute a nuisance. In its sole discretion, the ECC may recommend altering the placement of any solar panel, whether or not precedence has been set, in order to minimize the visual impact of the device or address other concerns.

California Law.

Nothing in these Guidelines shall impose a restriction that shall significantly increase the cost of the system or significantly decrease its efficiency or specified performance, or that does not allow for an alternative system of comparable cost, efficiency, and energy conservation benefits in violation of California Civil Code Section 714.

RIMROCK HOMEOWNER'S ASSOCIATION

POLICY ON ACCESS BY VENDORS AND SOLICITORS

Introduction. Rimrock is a private, exclusive, gated community ("Community"). The Board of Directors has adopted this Policy on Access by Vendors and Solicitors ("Policy") in light of the private nature of the Community as well as the Members' concerns regarding safety.

Association Authority. The Rimrock CC&R's serve to preserve, promote and protect the Community's value, desirability and attractiveness. Article X, Section 1 of the CC&R's gives Members the right to use and enjoy the common area. This right does not extend to nonresidents, unless invited by Members.

The Association maintains and manages all the common areas (Art. II, Sec. 4(a)). It has the right to establish uniform rules and regulations pertaining to use of the common area by Members and their guests (Art. II; Sec. 7), Use of the Common Area by an Owner's guests and vendors is subject to the Association's governing documents including rules adopted by the Board (Art X, Sec. 1). Assessments serve the purpose of promoting the "recreation, health, safety and welfare

of the residents" (Art. III, Sec.2). This Policy seeks to balance privacy and safety concerns with the necessity to have guests and vendors enter the Community.

California Law. Under California law, the owner of property has the right to exclude any and all persons from the property. An association is considered to be the owner of common areas and may prohibit uninvited nonresidents from distributing their materials (Cal. Atty. Gen Opinion 97-1005). For example, it may prohibit door to door solicitors unless the property is freely and openly accessible to the public (Golden Gateway Center v. Golden Gateway Tenants Assn. (2001) 26 Cal.4th 1013). As a gated community, Rimrock is not freely and openly accessible to the public, and it may exclude nonresidents.

No Uninvited Solicitors/Trespass. Non-Members are hereby prohibited from entering the Community in order to solicit business, distribute marketing materials or campaign materials, or knock on residents' doors. Such solicitors are prohibited, their presence is a trespass and they will be escorted

out of the Community if they do somehow gain access. Representatives of the Police Department are authorized to enforce all trespass laws as they apply to solicitors and uninvited persons.

Blacklisting Vendors. In accordance with this Policy, the Board may ban or blacklist certain vendors or contractors from the Community including those who (1) damage the Common Area, (2) violate the Association's rules or policies, (3) perform shoddy work that could result in harm or damage to Common Area or surrounding homes, (4) threaten residents or contractors of the Association (5) disrupt the Community or (6) cause a safety hazard. Consequently, the Board is empowered to generate a list of "Blacklisted Vendors" by either updating this Policy or adopting a separate Resolution, without Owner approval. Any such blacklisted vendors who attempt entry into the Community will be refused by the Associations entry guards.

Exceptions. If any Member insists a Blacklisted Vendor be granted access to the Community, the Member will be required to attend a hearing with the Board. The purpose of the hearing will be to notify the Member of the vendor's status. The Member will thereafter be required to meet the

vendor at the gate and sign them in, accompany the vendor while the vendor is within the Community, and to sign the vendor out when departing. The Member shall personally be responsible for costs and legal fees arising from the vendor's presence within the Community.

List of Blacklisted Vendors. The list of Blacklisted Vendors shall be maintained by the Board of Directors, and may be distributed to the guards or Members as the Board deems appropriate.

EXPLOSIVES AND FIREWORKS- APPLICABILITY

SEC. 96.1.3301.2. EXPLOSIVES AND FIREWORKS- APPLICABILITY.

Section 3301.2 is added to the California Fire Code to read:

Sec. 3301.2 Applicability. This section shall apply to the manufacture, possession, storage, sale, transportation and use of explosives and blasting agents and to any blasting operation in the unincorporated area of the County. The Sheriff shall be the Issuing Officer for any permit under this section, but may delegate the responsibility to any fire chief in the unincorporated area to issue a permit in the geographical area of the chief's jurisdiction. The issuing officer shall determine whether a blast is a major blast or a minor blast under this section. A minor blast is subject to all conditions of this section except the inspection requirements.

Sec. 3301.2.1 Definitions. The following definitions shall apply to this section:

BLASTER. A person who has been approved by the Sheriff to conduct blasting operations and who has been placed on the list of approved blasters.

The listing shall be valid for one year unless revoked by the Sheriff.

BLASTING AGENT. A material or mixture consisting of a fuel and oxidizer intended for blasting. The finished product as mixed and packaged for use or shipment shall not be detonated by means of a No. 8 test blasting cap when unconfined.

BLASTING OPERATION. The uses of an explosive device or explosive material to destroy, modify, obliterate or remove any obstruction of any kind.

BLASTING PERMIT. A permit issued by the Issuing Officer, pursuant to section 105.6.14 of Appendix Chapter 1 of the California Fire Code. The permit shall apply to a specific site and shall be valid for a period not to exceed one year.

BLAST SITE. The geographically defined area, as shown on a project map or plot plan, where a blaster is authorized by a blasting permit issued under this section to conduct a blasting operation.

EXPLOSIVES PERMIT. A permit to possess or use explosives, issued by the Issuing Officer, pursuant to California Health and Safety Code sections 12000

et seq. and California Fire Code Chapter 3 3. An explosives permit shall be valid for a period not to exceed one year, as provided in the permit conditions. An explosives permit does not authorize a person to conduct blasting unless the person also obtains a blasting permit under this section.

INSPECTOR. A person on the Sheriff's approved of inspectors authorized to conduct inspections, before and after a blast.

MAJOR BLASTING. A blasting operation that does not meet the criteria for minor blasting.

MINOR BLASTING. A blasting operation that meets all of the following criteria: quantity of rock to be blasted does not exceed 100 cubic yards per shot, bore hole diameter does not exceed 2", hole depth does not exceed 12', maximum charge weight does not exceed 8 pounds of explosives per delay and the initiation of each charge will be separated by at least 10 milliseconds. The maximum charge weight shall not exceed the Scaled Distance as shown below:

Distance from Blast Site (in Feet)	Scale-Distance Factor
0-300	Mandatory Seismic Monitoring
301-5000	55
5000+	65

Sec. 3301.2.2. Application. Application for a permit required by this section shall be in the form required by the Issuing Officer.

Sec. 3301.2.3 Permit requirements. No person shall conduct blasting in the unincorporated area of the County without a blasting permit issued under this chapter. A person applying for a blasting permit shall, in addition to demonstrating compliance with fire safety requirements, also establish compliance with all County requirements for any building permits, grading permits, use permits, encroachment permits and all other entitlements to use property, including zoning requirements and any determination under the Zoning Ordinance of nonconforming status. The applicant shall be responsible for providing proof of all necessary approvals to the Issuing Officer.

Sec. 3301.2.4 Permit conditions. The Issuing officer may impose conditions and procedures as are deemed reasonably necessary to protect the public health and safety based upon the facts and circumstances of a particular blasting operation. The permit conditions shall be in writing. Failure to comply with any permit condition is grounds for revocation of the permit. A blaster may request the

Issuing Officer release the blaster from any permit condition if circumstances have changed that make the condition no longer applicable. In addition to complying with the County blasting regulations, a blaster shall also comply with blasting regulations of neighboring jurisdictions, for any blasting operations outside of the unincorporated area of the County conducted in conjunction with a project within the unincorporated areas of the County.

Sec. 3301.2.5 Insurance and indemnification required. As an additional condition for obtain a blasting permit the applicant shall submit: (1) a certificate of insurance evidencing that the blaster has obtained a general liability insurance policy which includes coverage for explosion, collapse and underground property damage from an insurer satisfactory to the Issuing Officer, that is in effect for the period covered by the permit, written on an "occurrence" basis, in an amount of not less than \$500,000 per each occurrence, naming the County as an additional insured and providing that the policy will not be canceled or terminated without 30 days prior written notice to the County and (2) an agreement signed by the blaster agreeing to defend, indemnify and hold the County and its agents, officers and employees harmless from

any claims or actions arising from the issuance of the permit or any blasting activity conducted under the permit.

Sec. 3301.2.6 Blasting hours. Blasting shall only be allowed, Monday through Saturday, during posted **Rimrock** construction hours, unless special circumstances warrant another time or day and the Issuing Officer grants approval of the change in time or day.

Sec. 3301.2.7 Additional operational requirements. The owner of any property in the unincorporated area of the County on which any blasting is intended to occur, shall give, or cause to be given, a one-time notice in writing, for any proposed blasting to all residences, including mobile homes, and businesses within 600' of any potential major blast location or 300' from any potential minor blast location. The notice shall be given promptly upon issuance of any building permit, grading permit, use permit, encroachment permit or other entitlement to use the property, including a determination under the Zoning Ordinance of nonconforming status. In addition, the blaster shall give notice to residences, including mobile homes, within 600' of a major blast site and 300' from a minor blast site, not less than 24 hours, but more than one

week before a blasting operation and shall be in a form approved by the Issuing Officer. The minimum 24-hour notice requirement may be reduced to a lesser period but not less than one hour if the Issuing Officer determines that special circumstances warrant the reduction in time. Adequate precautions shall be taken to reasonably safeguard persons and property before, during and after blasting operations. These precautions shall include:

1. The blaster shall retain an inspector to inspect all structures, including mobile homes, within 300' of the blast site before blasting operations, unless inspection is waived by the owner and/or occupant. The inspector shall obtain permission of the owner and/or occupant before conducting the inspection. The inspection shall be only for the purpose of determining the existence of any visible or reasonably recognizable preexisting defects or damages in any structure. Waiver of inspection shall be in writing signed by the owner and/or occupant. Refusal to allow inspection shall also constitute a waiver. The inspector shall notify the owner and/or occupant of the consequences of refusing an inspection shall include a refusal in the summary report filed with the Issuing Officer. The blaster shall request an inspector conduct post-blast inspections upon receipt of a written complaint of

property damage if the complaint is made within 60 days of completion of blasting operations. If the blaster has knowledge of alleged property damage independent of the written complaint, the blaster shall also retain an inspector to conduct a post-blast inspection.

2. An inspector shall complete and sign pre-blast inspection reports identifying all findings and inspection waivers. The blaster shall retain the inspection reports for three years from the date of the blasting and upon a complaint of alleged damage the blaster shall immediately file a copy of the report with the Issuing Officer and provide a copy to the complainant. If there is a change in the blasting contractor after blasting has commenced on a project, a re-inspection shall be conducted in accordance with the preceding paragraph before the new blasting contractor undertakes any additional blasting.

3. The blaster shall retain an inspector to conduct a post-blast inspection of any structure for which a written complaint alleging blast damage has been received. A written report of the inspection shall be immediately filed with the Issuing Officer and provided to any person who made a complaint for damages.

4. The blaster shall allow any representative of the Issuing Officer to inspect the blast site and blast

materials or explosives at any reasonable time.

5. If the blaster wants a representative of the Issuing Officer to witness a blasting operation the blaster shall make a request with the Issuing Officer at least 12 hours before the blast. The blaster shall confirm the request for a witness with the Issuing Officer at least one hour before the blast. The blaster shall be responsible for any cost incurred by the Issuing Officer in having a representative witness the blast.

6. The blaster shall notify the Issuing Officer on the day of a scheduled blasting operation not less than one hour before blasting.

7. All major blasting operations shall be monitored by an approved seismograph located at the nearest structure within 600' of the blasting operation. All daily seismograph reports shall be maintained by the blaster for three years from the blasting.

Sec. 3301.2.8 Seizure of illegal items.

The Sheriff may seize, at the owner's expense, all explosives, ammunition or blasting agents which are illegally manufactured, sold, offered or exposed for sale, delivered, stored, possessed or transported in violation of this chapter.

Sec. 3301.2.9 Violations for false or misleading information. It shall be unlawful and a violation of this chapter for any person to provide false or

misleading information or documentation to the County or any of its officers or employees or to any fire department, fire protection district, fire company or legally formed volunteer fire department, or its officers or employees in the unincorporated area of the County, having jurisdiction over any aspect of the explosives or blasting permit process or blasting operations.

Sec. 3301.2.10 Fees. A person applying to the Sheriff to be approved as a blaster or inspector, as defined in this section, shall pay an application fee to the Sheriff. A person applying for a blasting permit under this section shall pay the fee established by the Sheriff with the application. The amount of any fee required by this chapter shall be determined by the Sheriff on the basis of the full costs involved in processing an application.

(Added by Ord. No. 9915 (N.S.), effective 1-30-08)

ADDENDUM 7 – LANDSCAPE EASEMENT

Landscape Easement.

The Association is generally obligated to maintain the “Landscape Easement” area which comprises a 10-foot wide area on both sides of the private streets in the Rimrock community. The Association generally maintains this area in a fire safe condition. However, because the Landscape Easement area is located on homeowner lots, the Owner of each respective lot may submit an architectural request to the Association to install their own landscaping improvements within the Landscape Easement area on their lot. Owners will not be allowed to enclose such Landscape Easement area or install permanent improvements such as swimming pools. Any request is subject to Association approval, and will require the Owner to assume full responsibility over the area, as well as any damage caused by the Owner’s improvements. In the event that an Owner or their successor fails to maintain the Landscape Easement area, the Association will have the right to maintain the area in a fire safe condition consistent with Association standards.